



Monthly Investment Report

May 2021



IMPERIUM MARKETS

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Impact of COVID-19 to Council's Portfolio

COVID-19 has adversely impacted financial markets, which in turn, has also affected Council's investment portfolio. We provide a quick summary in this section.

With regards to financial markets, shares (equities) experienced a significant correction in March 2020 but have since, recovered substantially due to the unprecedented fiscal and monetary policy support from global central banks and governments. **The RBA cut rates to record lows on 3rd November 2020 to 0.10%.** Equities have continued their rally over the course of 2021 with the accelerated rollout of multiple vaccines and ongoing fiscal stimulus. Longer-term bond yields have also risen over the past few months on the prospects of higher inflation over coming years.

With regards to the medium-longer term outlook for financial markets, of importance is the RBA's outlook and stance on the current situation:

1. The RBA's official cash rate will remain unchanged at its emergency level of 0.10% until its objectives of full employment and inflation are reached.
2. They suggested the NAIU could be in the low 4s, or even the high 3s, well below the current unemployment rate of ~5½%;
3. **The Board does not expect the conditions for a rate hike "to be met until 2024 at the earliest".**

The largest impact to Council's investment portfolio is with regards to its largest exposure being assets held in bank term deposits, which accounts for around ~74% of Council's total investment. **The biggest risk that Council faces over the medium-longer term in this environment is not the potential loss of capital (given all the banks are well capitalised and regulated by APRA), but the rapid loss of interest income as interest rates have plummeted.**

Council's term deposit portfolio was yielding 0.69% p.a. at month-end, with a weighted average duration of around 203 days or 7 months. **This short average duration will only provide some income protection against the low interest rate environment over the immediate future.** As existing deposits mature however, they will inevitably be reinvested at much lower prevailing rates.

Given official rates have fallen to record lows, Council is likely to see a rapid decline in interest income over future financial years. Its budgeted income over the medium-longer term needs to be revised to reflect the low interest rate environment. Returns between 0.40%-0.80% p.a. may potentially be the "norm" over the next few financial years, especially if rolling the majority of surplus funds for terms less than 2-3 years. Yields may in fact be lower if electing to invest for terms under 12 months.

Council's Portfolio & Compliance

Asset Allocation

As at the end of April 2021, the majority of the portfolio is directed to fixed term deposits (72.47%). The remainder of the portfolio is held in low yielding cash accounts with NAB (AA-) and Bendigo-Adelaide (BBB+), which remains at relatively high levels and will cause a drag to performance. We recommend opening the 'accelerator' cash account with Macquarie Bank (A+), which is currently paying an overnight rate of 0.40% p.a. for balances up to \$10m (and 0.20% p.a. for balances greater than \$10m).

With the RBA cutting interest rates in November 2020 to 0.10%, the priority should be to lock in any remaining attractive medium-longer dated fixed deposits that may still be available to address reinvestment risk as margins continue to compress.



Council's Investment Policy does not specify any limits for Maturity, Counterparty and Credit Quality compliance measures. In the following sections, we have tentatively placed what other NSW councils have adopted as part of their compliance limits. We provided Berrigan Shire Council an Investment Policy review during the month of April 2021.

Term to Maturity

The portfolio is highly liquid with a large proportion of the investment portfolio maturing within 3 months (31%). We recommend a more diversified maturity profile to address reinvestment risk, which has been and continues to be a major detriment towards Council's interest income going forward.

Where ongoing liquidity requirements permit Council to invest in attractive 1-5 year investments, we recommend this be allocated fixed term deposits (refer to respective sections below).

Compliant	Horizon	Invested (\$)	Invested (%)	Min. Limit (%)	Max. Limit (%)	Available (\$)
✓	0 - 90 days	\$12,591,684	31.00%	10%	100%	\$28,025,955
✓	91 - 365 days	\$26,025,955	64.08%	20%	100%	\$14,591,684
✓	1 - 2 years	\$2,000,000	4.92%	0%	70%	\$26,432,347
✓	2 - 5 years	\$0	0.00%	0%	50%	\$20,308,820
		\$40,617,639	100.00%			

Counterparty

As at the end of May 2021, Council had an overweight position to Bendigo-Adelaide, largely driven by the large cash balance. Overall, the portfolio is lightly diversified, with some exposure to the unrated ADIs.

Compliant	Issuer	Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	NAB	A-1+	\$6,492,658	15.98%	40.00%	\$9,754,398
✓	AMP Bank	A-2	\$7,000,000	17.23%	25.00%	\$3,154,410
X	Bendigo-Adel.	A-2	\$15,099,026	37.17%	25.00%	-\$4,944,616
✓	Defence Bank	A-2	\$8,000,000	19.70%	25.00%	\$2,154,410
✓	Central Murray	Unrated	\$2,000,000	4.92%	10.00%	\$2,061,764
✓	Goulburn Murray	Unrated	\$2,025,955	4.99%	10.00%	\$2,035,809
			\$40,617,639	100.00%		

In September 2020, ratings agency **S&P downgraded AMP Bank by one notch to “BBB”** stating its view that *“the overall creditworthiness of the AMP group is weaker”* and that *“the group is exposed to challenges that may disrupt its overall strategic direction and its ability to effectively execute its strategy.”*

We have no issues with Council’s investments with AMP Bank, given they are super-senior ranked assets, extremely low risk and high up the bank capital structure.

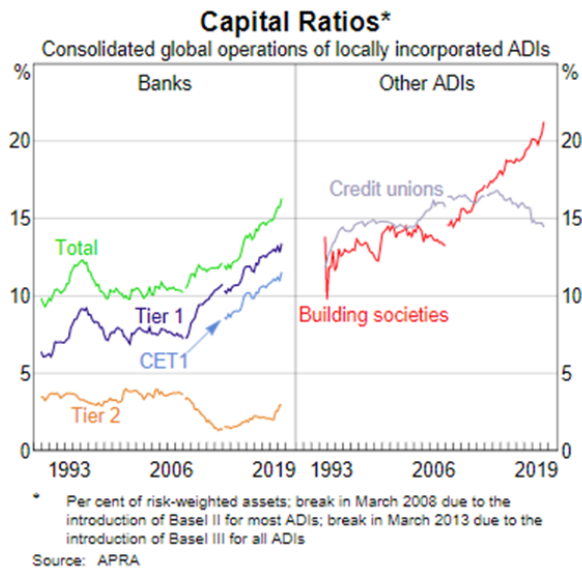
We remain supportive of the regional and unrated ADI sector (and have been even throughout the GFC period). They continue to remain solid, incorporate strong balance sheets, while exhibiting high levels of capital – typically, much higher compared to the higher rated ADIs. Some unrated ADIs have up to 25-40% more capital than the domestic major banks, and well above the Basel III requirements.

RBA Governor Lowe has commented that they have not seen any signs of stress in the financial system and that unlike during the GFC, the banks (all ADIs) now have cash, are well capitalised and are acting as “shock absorbers” in the current crisis.

Overall, the lower rated ADIs (BBB and unrated) are generally now in a better financial position than they have been historically (see the Capital Ratio figure below). We believe that deposit investments with the lower rated ADIs should be continued going forward, particularly when they offer ‘above market’ specials. Not only would it diversify the investment portfolio and reduce credit risk, it would also improve the portfolio’s overall returns.

In the current environment of high regulation and scrutiny, all domestic (and international) ADIs continue to carry high levels of capital. There is minimal (if any) probability of any ADI defaulting on their deposits going forward – this was stress tested during the GFC. **APRA’s mandate is to “protect depositors” and provide “financial stability”.**

The biggest single risk that depositors face in the current low interest rate environment is not capital or credit risk, but reinvestment risk. Interest rates are now at their effective lower bound of 0.10%.



Credit Quality

Council did not have an overweight position to any category as at the end of May. The portfolio remains well diversified from a ratings perspective, with some exposure down to the local credit unions.

From a ratings perspective, the “BBB” / “A-2” rated banks now generally dominate the number of ADIs issuing deposits within the investment grade space. However, given most banks are fully liquid during the current pandemic, most of the “BBB” / A-2” rated and Unrated ADIs are currently not seeking wholesale funding. As such, in the interim, we could see a shift towards a larger proportion of assets being directed towards the higher rated ADIs given the lack of appetite amongst the lower rated ADIs.

Compliant	Credit Rating	Invested (\$)	Invested (%)	Max. Limit (%)	Available (\$)
✓	A-1+ Category	\$6,492,658	16%	100%	\$34,124,981
✓	A-1 Category	\$0	0%	100%	\$40,617,639
✓	A-2 Category	\$30,099,026	74%	80%	\$2,395,085
✓	A-3 Category	\$0	0%	20%	\$8,123,528
✓	Unrated ADI Category	\$4,025,955	10%	15%	\$2,066,691
		\$40,617,639	100.00%		

Performance

Council's performance for the month ending 31 May 2021 is summarised as follows:

Performance (Actual)	1 month	3 months	6 months	FYTD	1 year
Official Cash Rate	0.01%	0.03%	0.05%	0.14%	0.16%
AusBond Bank Bill Index	0.00%	0.01%	0.01%	0.06%	0.06%
Council's T/D Portfolio[^]	0.06%	0.21%	0.47%	1.06%	1.19%
Outperformance	0.06%	0.20%	0.46%	1.00%	1.13%

[^]Total portfolio performance excludes Council's cash account holdings. Overall returns would be lower if cash was included.

Performance (Annualised)	1 month	3 months	6 months	FYTD	1 year
Official Cash Rate	0.10%	0.10%	0.10%	0.16%	0.16%
AusBond Bank Bill Index	0.05%	0.04%	0.02%	0.06%	0.06%
Council's T/D Portfolio[^]	0.75%	0.85%	0.94%	1.15%	1.19%
Outperformance	0.70%	0.81%	0.91%	1.09%	1.13%

[^]Total portfolio performance excludes Council's cash account holdings. Overall returns would be lower if cash was included.

For the month of May 2021, the deposit portfolio provided a solid return of +0.06% (actual) or +0.75% p.a. (annualised), outperforming the benchmark AusBond Bank Bill Index return of +0.00% (actual) or +0.05% p.a. (annualised). The outperformance continues to be driven by a combination of those deposits originally invested beyond 6 months.

Going forward, with the low interest rate environment (depleted cash rate), maturing deposits will inevitably be reinvested at lower prevailing rates. The reduction in interest income over coming years can be mitigated by undertaking a longer duration position.

Investors using the Imperium Markets platform have reduced the invisible costs associated with brokerage, and thereby lift client portfolio returns as investors are able to deal in deposits directly with the ADIs and execute at the best price possible.

Council's Term Deposit Portfolio & Recommendation

As at the end of May 2021, Council's deposit portfolio was yielding 0.69% p.a. (down 10bp from the previous month), with an average duration of around 203 days (~7 months).

We strongly recommend Council extends this average duration. In the low interest rate environment, the biggest collective risk that the local government sector has faced over the post-GFC era has been the dramatic fall in interest rates - from 7¼% to the historical low levels of 0.10%.

As the past decade has highlighted (post-GFC era), we have seen too many portfolios' roll a high proportion of their deposits between 3-6 months, resulting in their deposits being reinvested at lower prevailing rates. That is, depositors have overpaid for liquidity and generally not insured themselves against the low interest rate environment by diversify their funding across various tenors (out to 5 years) but rather placed all their 'eggs in one basket' and kept all their deposits short. **Reinvestment risk has collectively been and continues to be the biggest detriment to depositors' interest income over the post-GFC period.**

At the time of writing, we see value in:

ADI	LT Credit Rating	Term	T/D Rate
ICBC, Sydney	A	5 years	1.40% p.a.
NAB	AA-	5 years	1.30% p.a.
ICBC, Sydney	A	4 years	1.12% p.a.
NAB	AA-	4 years	1.00% p.a.
ICBC, Sydney	A	3 years	0.85% p.a.
NAB	AA-	3 years	0.75% p.a.
ICBC, Sydney	A	2 years	0.60% p.a.
NAB	AA-	2 years	0.60% p.a.

The above deposits are suitable for investors looking to provide some income protection and mitigate reinvestment/rollover risk in the low interest rate environment.

For terms under 12 months, we believe the strongest value is currently being offered by the following ADIs (dependent on daily funding requirements):

ADI	LT Credit Rating	Term	T/D Rate
ME Bank	BBB	12 months	~0.50% p.a.
BoQ	BBB+	6 months	0.45% p.a.
BoQ	BBB+	9-12 months	0.40% p.a.
CBA	AA-	12 months	~0.38% p.a.
AMP Bank	BBB	9-12 months	0.35% p.a. [^]
NAB	AA-	12 months	0.35% p.a.
Westpac	AA-	12 months	~0.35% p.a.
Bendigo	BBB+	9-12 months	0.35% p.a.

[^] AMP T/Ds – contact us to receive an additional 0.20% p.a. rebated commission on top of the rate shown

Amongst the investment grade sector, short-dated term deposits (maturing less than 12 months) are yielding under 0.50% p.a. (most are under 0.40% p.a.). We believe there is not much value being offered in short-dated deposits.

In contrast, there is an upward pick-up in yield for investors that can take advantage of 2-5 year fixed T/Ds whilst official rates are stuck at depressed levels for the foreseeable future. If Council does not require high levels of liquidity and can stagger its investments longer-term, it will be rewarded over coming years if it can roll for a minimum term of 2 years (rolling for 3-5 years is even better, where possible), potentially yielding, on average, more than double or triple the return compared to those investors that purely invest in short-dated deposits.

Senior FRNs Review

Over May, amongst the senior major bank FRNs, physical credit securities widened by around 5bp at the long-end of the curve. Secondary market securities remain relatively expensive on the back of the RBA announcing its \$200bn quantitative easing (QE) package (doubled in Feb 2021).

A new 5 year senior major bank FRN would now be issued around the +50bp, which remains tight on a historical basis. We may finally see some primary issuances in Q3-Q4 this year from the major banks as the RBA’s term funding facility (TFF) ends as of 30 June 2021. The lack of supply from new (primary) issuances has played a major role with the rally in credit markets over the past year.

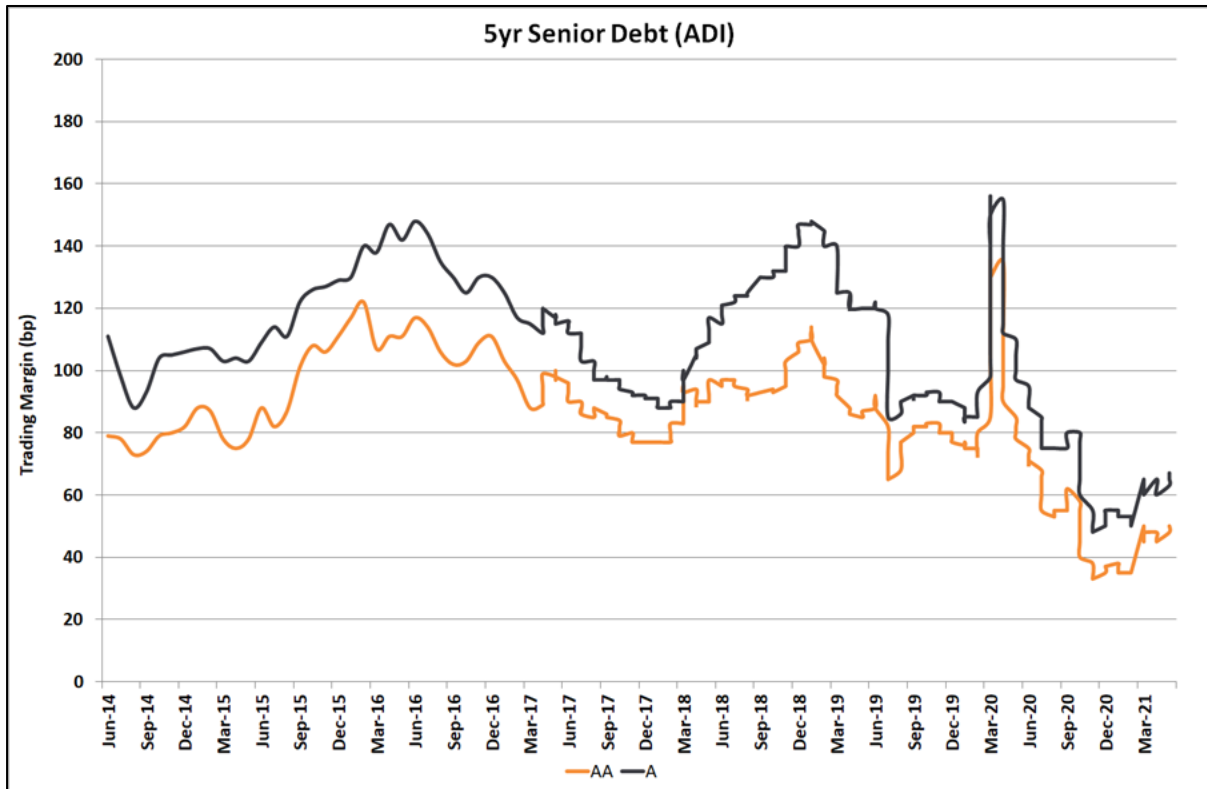
During the month, HSBC Sydney Branch (AA-) issued a new 3 year senior FRN at +42bp, printing \$500m, tightening from initial guidance of +50bp, after receiving orders in excess of \$1.4bn. While it tightened 8bp from initial guidance, relative to where the domestic major banks were being marked, we thought this was issued at a relatively fair level. Separately, China Everbright Bank, Sydney Branch (BBB+) issued a 3 year senior FRN deal at +68bp, tightening from +73bp and printed \$300m.

Amongst the “A” and “BBB” rated sector, the securities were also marked around 2-5bp wider at the long-end of the curve. While turnover in the secondary market is still predominately dominated by commonwealth, semi-government and major bank senior paper, given the lack of supply, we have started to observe that even a handful of regional bank senior paper has sometimes been trading inside “mid” levels over recent months.

Credit securities remain tight on a historical level but are looking slightly more attractive following the widening experienced over the past few months. FRNs will continue to play a role in investor’s portfolios mainly on the basis of their liquidity and the ability to roll down the curve and gross up returns over ensuing years (in a relatively stable credit environment).

Senior FRNs (ADIs)	31/05/2021	30/04/2021
“AA” rated – 5yrs	+50bp	+45bp
“AA” rated – 3yrs	+27bp	+27bp
“A” rated – 5yrs	+67bp	+60bp
“A” rated – 3yrs	+45bp	+42bp
“BBB” rated – 3yrs	+55bp	+52bp

Source: IBS Capital



Source: IBS Capital

We now generally **recommend switches** ('benchmark' issues only) into new attractive primary issues (or longer-dated alternatives), out of the following senior FRNs that are maturing:

- **On or before mid-2024 for the "AA" rated ADIs (domestic major banks);**
- On or before mid-2022 for the "A" rated ADIs; and
- Within 12 months for the "BBB" rated ADIs (consider case by case).

Investors holding onto the above senior FRNs ('benchmark' issues only) in their last 1-2 years are now generally holding sub-optimal investments and are not maximising returns by foregoing realised capital gains. In the current low interest rate environment, any boost in overall returns should be locked in when it is advantageous to do so.

Economic Commentary

International Market

Despite ongoing concerns regarding inflation and higher commodity prices, equity markets continued their positive momentum in May, providing positive returns across most major markets.

In the US, the S&P 500 Index gained +0.55%, while the tech-heavy NASDAQ Index fell -1.53%. Equities finished positively across Europe's main indices, led by France's CAC (+2.83%), Germany's DAX (+1.88%) and UK's FTSE (+0.76%).

The US payroll numbers in April disappointed, coming in at 266k against expectation of 1 million. **The unemployment rate unexpectedly ticked up from 6.0% to 6.1%** against expectations of a fall to 5.8%.

The US April core PCE deflator rose to +3.1% from +1.9%, its highest annual rate since 1992 and a little above the 2.9% expected.

President Biden outlined his Budget plan for FY22, proposing US\$6 trillion of spending that would significantly boost discretionary spending and sharply raise taxes on corporates and high-income households.

European GDP data confirmed their recession with Q1 GDP at -0.6% q/q. With the vaccination programme back on track in the region and restrictions likely to ease, Q2 is expected to be much better.

The UK economy contracted by -1.5% q/q in Q1, but the monthly track showed a decent pick-in in growth in March, confirming that a strong rebound is underway as lockdown restrictions ease. The Bank of England kept all its policy settings unchanged, including its £875bn government bond buying target.

China's monthly activity data did not provide any support to risk appetite, with retail sales coming in weaker than expected (17.7% y/y vs 25% expected). The unemployment rate fell to 5.1% (the lowest since November 2019), while new home prices were up +0.5% m/m in April.

The RBNZ surprised the market by re-introducing its forecasts for their Official Cash Rate (held steady at 0.25%) into their Monetary Policy statement. **OCR forecasts point to a sequence of hikes from the Q3 of 2022.**

The MSCI World ex-Aus Index rose +1.22% for the month of May:

Index	1m	3m	1yr	3yr	5yr	10yr
S&P 500 Index	+0.55%	+10.31%	+38.10%	+15.83%	+14.93%	+12.07%
MSCI World ex-AUS	+1.22%	+9.15%	+38.37%	+12.59%	+12.31%	+8.42%
S&P ASX 200 Accum. Index	+2.34%	+8.48%	+28.23%	+9.95%	+10.11%	+8.82%

Source: S&P, MSCI

Domestic Market

The RBA kept its rates and guidance unchanged at its meeting in May, however it upgraded its baseline forecasts for economic growth and substantially reduced its unemployment forecasts. The RBA has lowered its unemployment rate forecasts to 4.5% by the end of 2022 (previously 5.5%), which is at the bottom end of model-based NAIRU estimates (NAIRU is pegged around 4.5-5.0%).

The RBA indicated it will not extend their 3yr yield target from the April 2024 bond to the November 2024 bond, which could signal their intention to announce a tapered QE3.

The underlying cash deficit for 2020-21 was revised almost \$40bn lower to \$161bn (7.8% of GDP) from \$213.7bn (11%) at the previous budget in October 2020, on the back of the better-than-expected labour market recovery and elevated iron ore price. Deficits are forecast all the way to 2031-32. Gross debt is expected to be \$829bn (40.2% of GDP) in 2020-21 before stabilising at around 51% of GDP in the medium term.

In terms of spending, the largest item was the Government’s aged care package – at around \$17.7bn over the forward estimates. But there were other big spends in the areas of Infrastructure (\$15bn) and NDIS (\$13.2bn). The Low and Middle-Income tax offset was extended a year (\$7.8bn) and the Investment Asset Write Off was also extended.

Headline employment fell -30.6k in April, well below expectations of +20k. The unemployment rate fell by 0.2% to 5.5% from an upwardly revised 5.7%, partially driven by falling participation from 66.3% to 66.0%. Interestingly, youth unemployment fell 1.1% to 10.6%, its lowest since 2009. Underemployment also fell by 0.2% to 7.8%, its lowest level since May 2014.

The Wage Price Index (WPI) rose +0.6% q/q and +1.5% y/y in March, one-tenth higher than the consensus.

The trade surplus fell by \$2.0bn to \$5.6bn in March, driven mostly by higher imports (+4% m/m or \$1.3bn).

Australia has now administered vaccine doses equivalent to 14.9% of the population, while only 2% of the population is now fully vaccinated.

The Australian dollar fell -0.66%, finishing the month at US77.25 cents (from US77.76 cents the previous month).

Credit Market

The main credit indices remained flat over May. The indices now trade back to their levels experienced in late 2020:

Index	May 2021	April 2021
CDX North American 5yr CDS	51bp	50bp
iTraxx Europe 5yr CDS	50bp	50bp
iTraxx Australia 5yr CDS	59bp	61bp

Source: Markit

Fixed Interest Review

Benchmark Index Returns

Index	May 2021	April 2021
Bloomberg AusBond Bank Bill Index (0+YR)	+0.00%	+0.00%
Bloomberg AusBond Composite Bond Index (0+YR)	+0.26%	+0.56%
Bloomberg AusBond Credit FRN Index (0+YR)	+0.07%	+0.07%
Bloomberg AusBond Credit Index (0+YR)	+0.22%	+0.54%
Bloomberg AusBond Treasury Index (0+YR)	+0.30%	+0.57%
Bloomberg AusBond Inflation Gov't Index (0+YR)	+0.90%	+1.61%

Source: Bloomberg

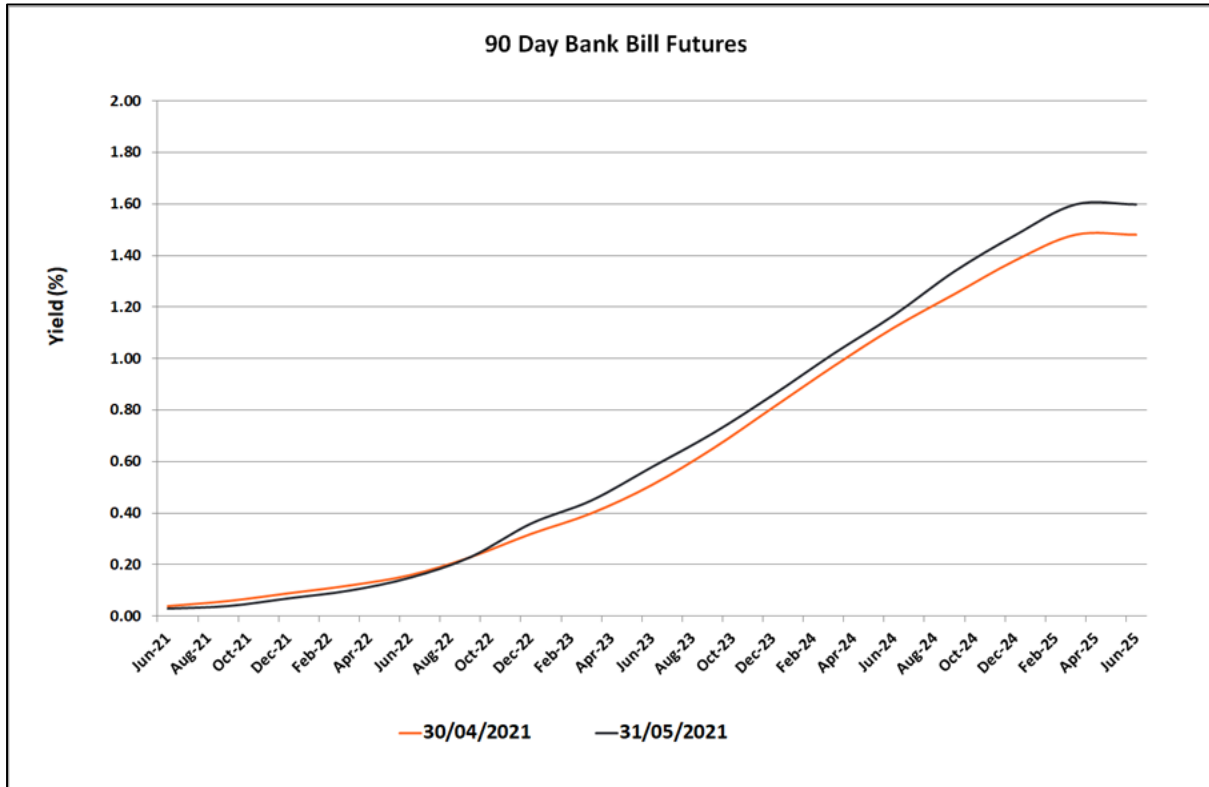
Other Key Rates

Index	May 2021	April 2021
RBA Official Cash Rate	0.10%	0.10%
90 Day (3 month) BBSW Rate	0.04%	0.04%
3yr Australian Government Bonds	0.10%	0.10%
10yr Australian Government Bonds	1.61%	1.65%
US Fed Funds Rate	0.00%-0.25%	0.00%-0.25%
10yr US Treasury Bonds	1.58%	1.65%

Source: RBA, AFMA, US Department of Treasury

90 Day Bill Futures

Over May, bill futures marginally rose across the board on anticipation of a tapering in QE programs and rising inflationary expectations. Overall, bill futures continue to depict a low rate environment over the long-run, despite the steeping curve in recent months:



Source: ASX

Fixed Interest Outlook

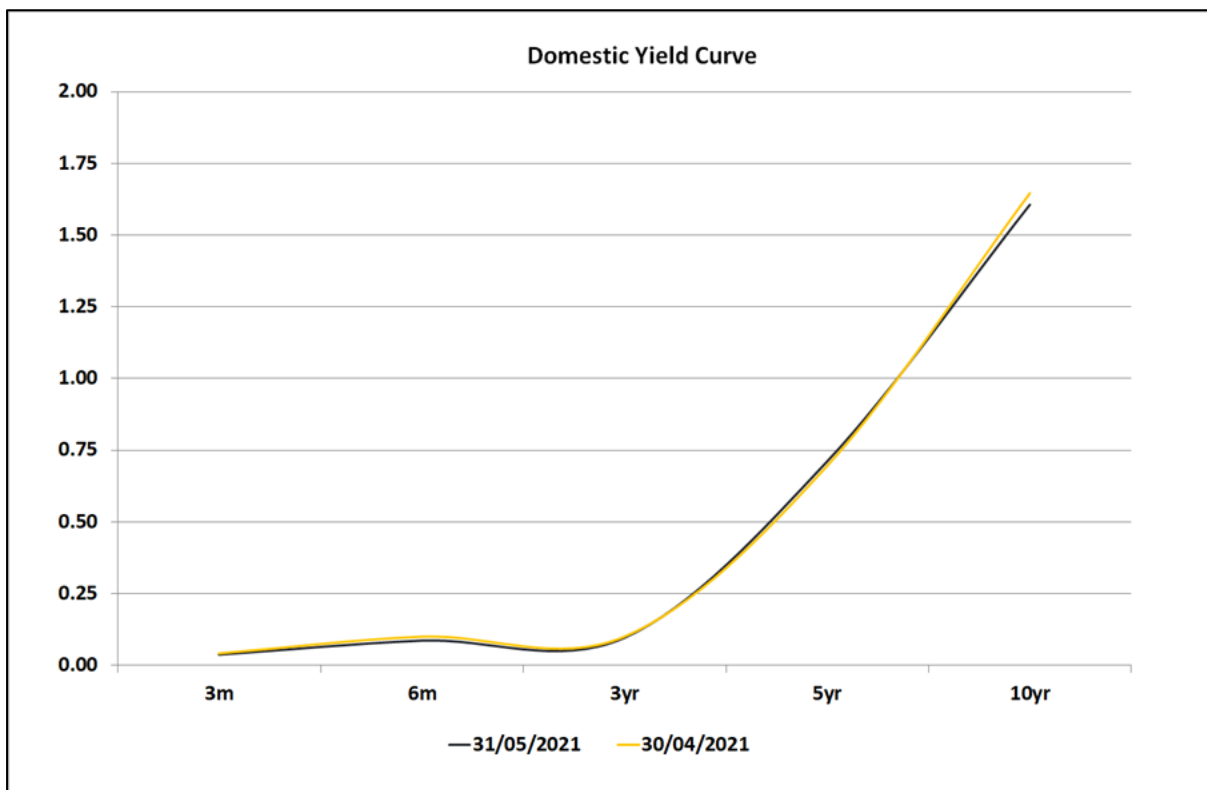
The unprecedented fiscal support for the global economy and the accelerated vaccine rollout in countries such as the US and the UK has aided financial markets. Further significant stimulus packages are also being proposed in the US, with President Biden announcing a \$US2.25 trillion infrastructure plan – about half of it for physical infrastructure and the other half for social infrastructure.

US Fed Chair Powell appeared to be more optimistic on the outlook, saying “we feel like we’re at a place where the economy’s about to start growing much more quickly and job creation coming much more quickly”. Powell remains cautious and has made it clear that it was “not time yet” to have a conversation about tapering its US\$120bn monthly QE bond buying programme. He emphasised that the US was “not close to” the substantial progress toward its employment and price stability goals that has been set as the condition for contemplating its first steps of tapering.

Global central banks (including the RBA) have stressed that they will look through temporary increases in inflation from base effects and supply chain disruptions.

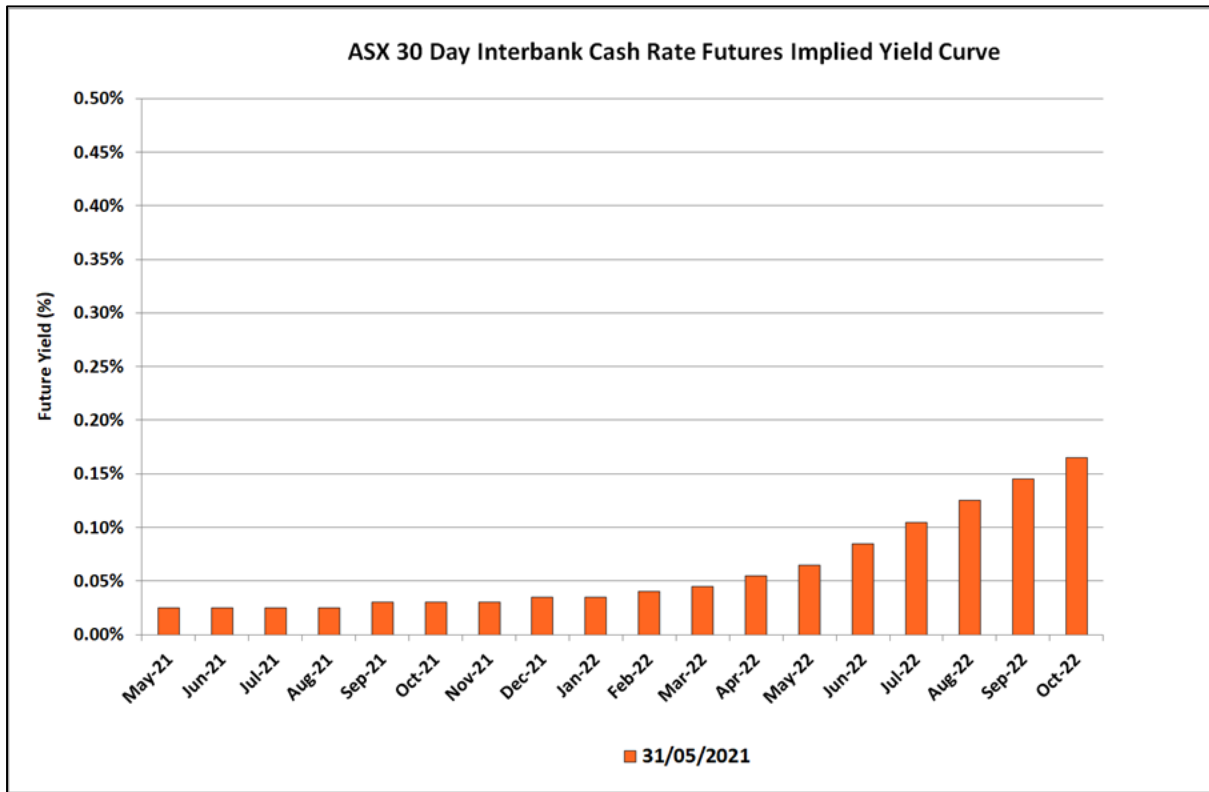
Domestically, the RBA is of the view that “a materially lower unemployment rate” (NAIRU of low 4s or even 3s) is needed to generate wages growth in excess of 3%, which is the level the RBA thinks is needed to deliver inflation sustainably within the 2-3% inflation target. The Bank does not see this occurring “**until 2024 at the earliest**”, which underpins their rates guidance.

The domestic bond market continues to suggest a prolonged low period of interest rates. Over the month, yields fell around 4bp at the long-end of the curve:



Source: AFMA, ASX, RBA

RBA Governor Lowe has pushed back on market pricing of rate hikes as early as late 2022. Dr Lowe reiterated his ‘best guidance’ was that it is “unlikely to see wages growth consistent with the inflation target before 2024. This is the basis for our assessment that the cash rate is very likely to remain at its current level until at least 2024”:



Source: ASX

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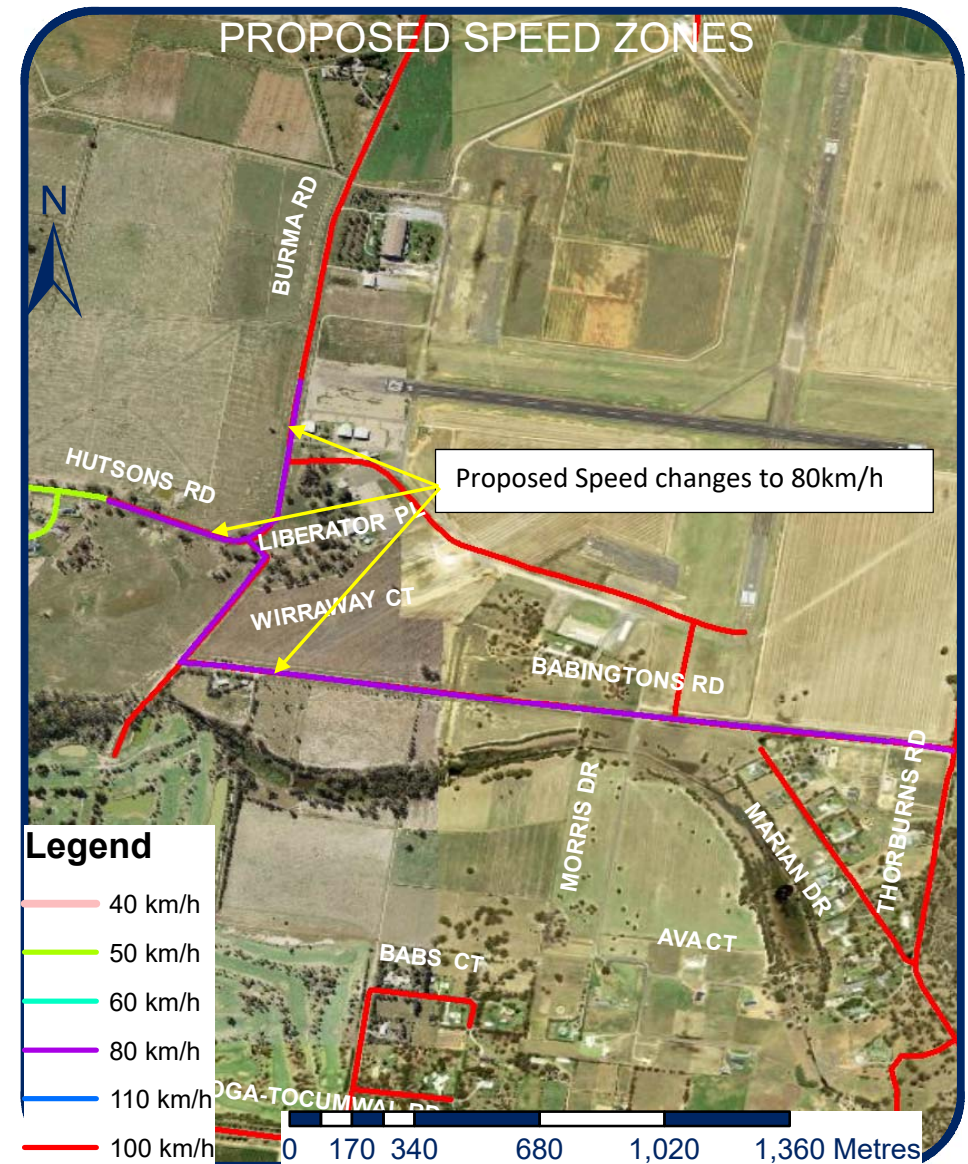
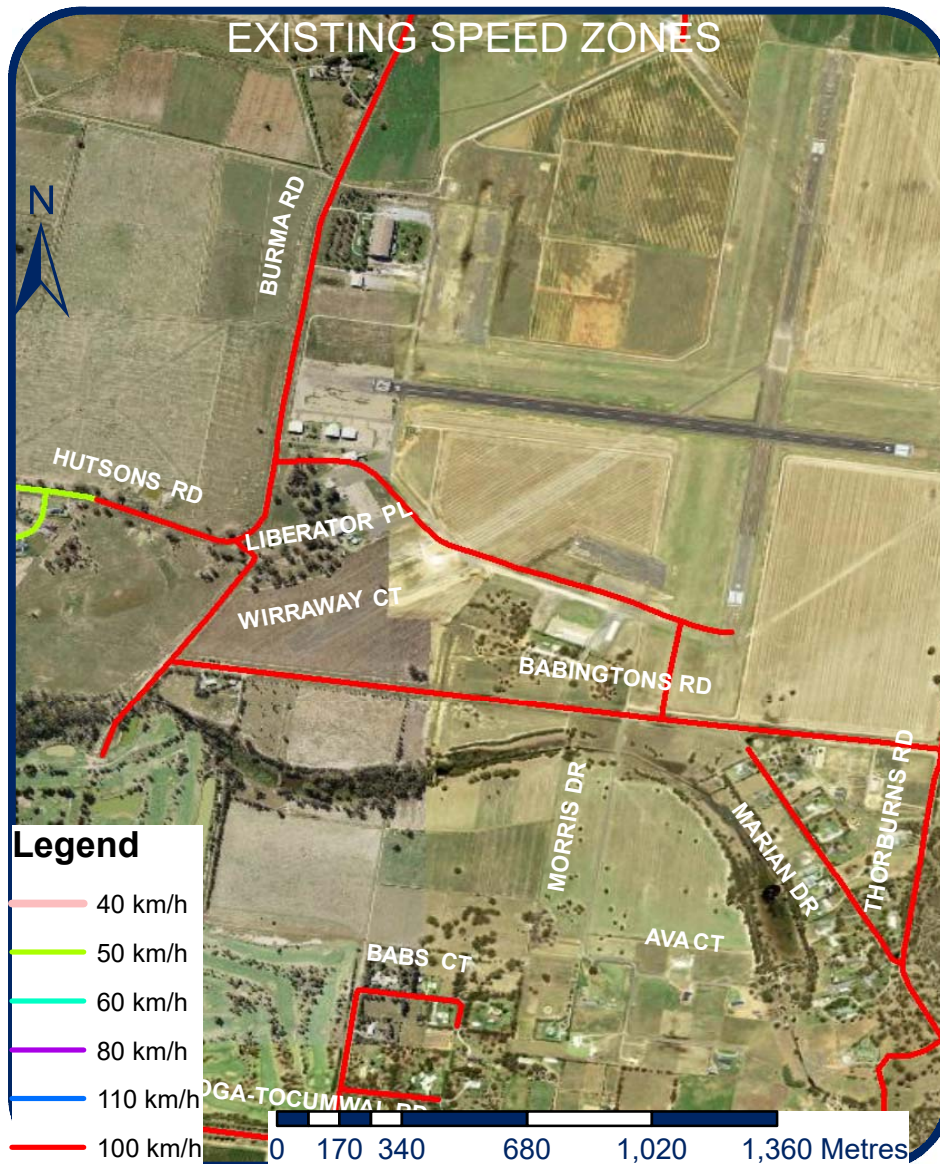
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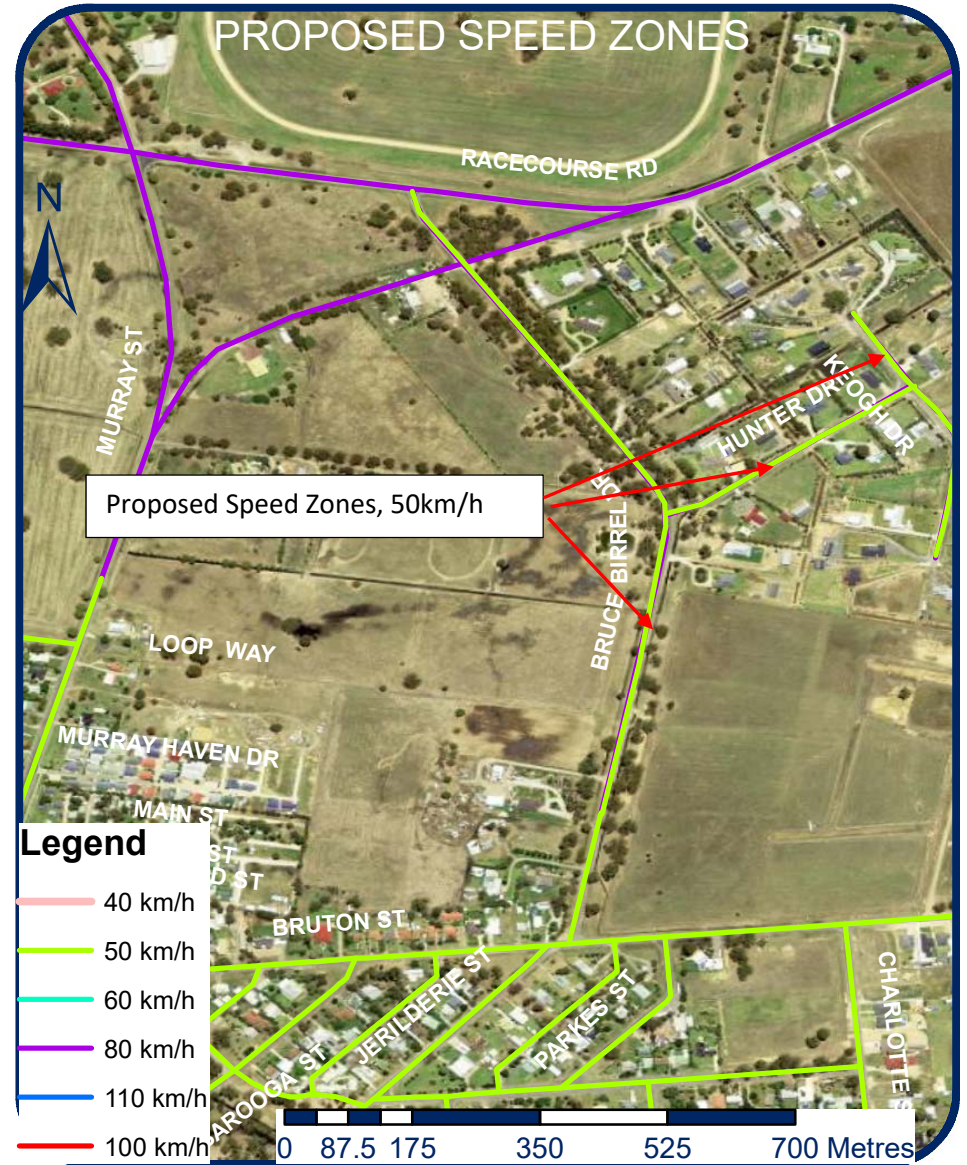
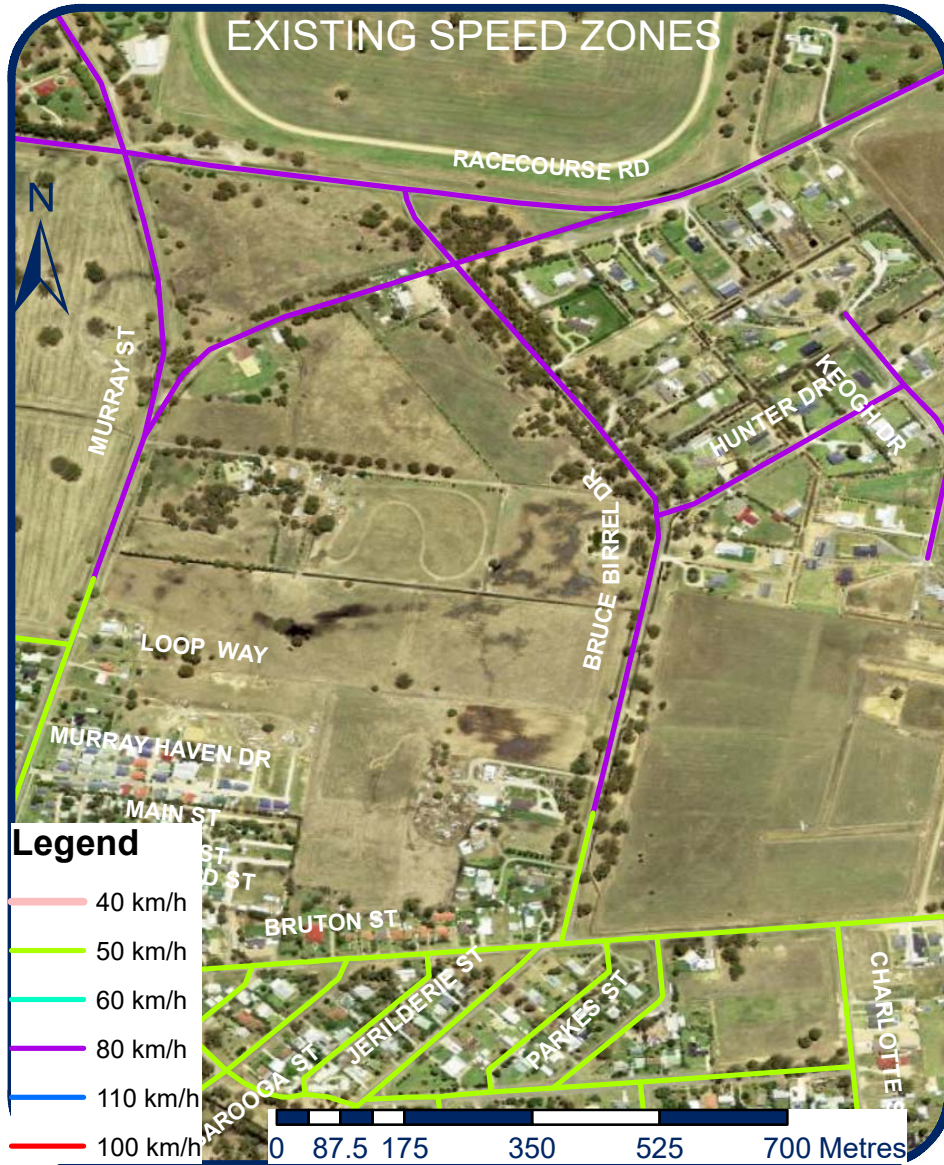
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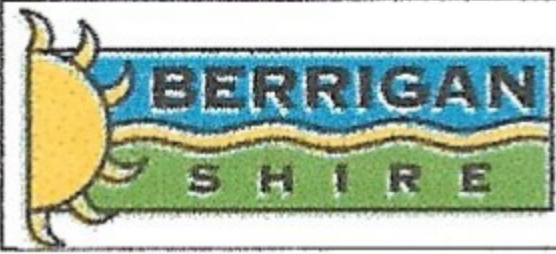
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Current & Proposed Speed Zones BABINGTONS RD, BURMA RD AND HUTSONS RD, TOCUMWAL



Current & Proposed Speed Zones BRUCE BIRREL DR, TOCUMWAL





Major Event Funding Application Form

Information provided in this application will be used to determine Council funding.
Applications will be assessed by the Events Committee.

Part One – Details of Group/Organisation Making Application

1.1 Group/Organisation Details

Name of Group/Organisation: Tocumwal Airshows PTY LTD

Address of Group/Organisation: PO Box 415 Tocumwal NSW 2714

1.2 Contact Details

Name: Matt Henderson

Position: Director

Postal Address: PO Box 415 Tocumwal NSW 2714

Telephone No. (B/H) 0409 850 154

(A/H)

Fax No.:

Email address: matt.henderson@tocumwalairshow.com.au

1.3 Proof of Incorporation

Does the group or organisation have legal status of organisation (Incorporated, Association)?

Please tick appropriate box and provide registration number and date of establishment:

Yes CAN 639 914 373

Date of Establishment: 23 March 2020

No

1.4 What is your Group/Organisation GST status? (Please tick one box below)

- No ABN and not registered for GST (please attach a Statement by Supplier).
- ABN but not registered for GST (please attach a copy of the ABN Certificate).
- ABN and registered for GST (please attach a copy of the ABN Certificate).
- Currently applying for ABN/GST registration (when received Council will require this information before funding can be made).
- Section 355 Committee of Berrigan Shire Council.

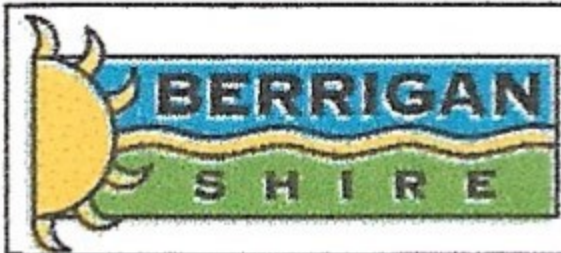
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Major Event Funding Application Form

Part Two – Event Overview

2.1 Event Title

2021 Tocumwal Airshow

2.2 Event Description (Briefly describe the proposed event in one or two sentences)

The Tocumwal Airshow will be a major public event held at the Tocumwal Aerodrome. It will comprise a flying display of approximately 4-5 hours as well as aviation related ground/static displays, market stalls, food & beverage trucks, classic and heritage vehicle displays etc. The event will be the largest family-friendly event within the Berrigan Shire and serve as a fundraising activity for the newly established Tocumwal Aviation Museum for ongoing development and operations.

2.3 Location of Event (Address)

Tocumwal Aerodrome, 205 Burma Road Tocumwal

2.4 Event Start Date: 18SEP21 Finish Date: 18SEP21

2.5 Has the event been held in previous years? If so, how many years?

Yes, the first Tocumwal Airshow was held in 2019.

2.6 Please specify any other assistance (financial and in-kind) that has been provided to the group or organisation by Council over the past three years and for which project/event.

Nil to Tocumwal Airshows PTY LTD. A grant was provided for the 2019 Tocumwal Airshow which was underwritten by the Murray Border Flying Club. This year's event is being underwritten by Tocumwal Airshows PTY LTD.

2.7 Has a representative of the group met with Council staff before lodging this application?

Yes Staff information: Merran Socha

No

2.8 How many people are expected to attend this event?

Between 5,000 and 7,000

2.9 How did you estimate this number? (Please provide any evidence from previous events)

The 2019 Tocumwal Airshow attracted 5000 attendees. This year's event avoids clashing with local sporting grand finals and also coincides with the first weekend of the NSW and VIC school holidays. It would be reasonable to expect day visitors from Echuca, Shepparton, Wangaratta, Albury-Wodonga. In addition to day visitors, airshows regularly draw crowds from further afield and provide a multi-day visitor opportunity (Friday and/or Saturday night stay).



Major Event Funding Application Form

Part Three – Project Funding Assessment Criteria

It is important that all sections are completed to assist the Committee in their assessment, and that your responses target the assessment criteria contained in the Funding Guidelines. Attach additional pages if required.

3.1 Event Rationale

What is the main objective of holding this event?

The primary objective of the event is to showcase the significant aviation history and heritage of Tocumwal from the first regular joy flights in 1921 at Hawkins Paddock through to the establishment of the aerodrome for US forces in 1942 and to present day covering military, aerial agriculture, gliding, aerobatics, aero medical and general aviation. In addition to showcasing the aviation heritage of Tocumwal, the event will be a drawcard for the region and provide an opportunity to showcase the broader Berrigan Shire. This is the second event to be held and will be held every 2nd year thereafter along with smaller flying displays and aviation events associated with the Tocumwal Aviation Museum.

With a crowd of over 5000 people in 2019, this is the largest family-friendly event to be held in the Berrigan Shire generating significant economic value for accommodation, hospitality and stores within Tocumwal and the Shire.

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3.4 Funding Requested from Council

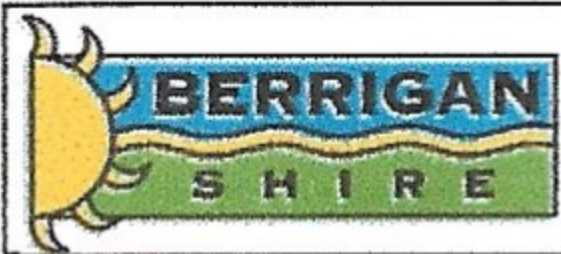
Amount **\$15,000**

Please explain what the funding will be used for?

The cost budget for the 2021 event is in the order of \$100,000. The primary costs for the event are related to performer (air display) costs of aviation fuel, accommodation and meals for participants, insurance, infrastructure including toilets, bins, fencing etc.

The funding will be used to contribute to overall cost of running the event including specialist insurance required for an air display and other costs related to providing the necessary facilities and services in an area with no permanent infrastructure.

.....
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Major Event Funding Application Form

3.5 Marketing and Promotion

List the activities that you will undertake to market and promote the event (how, when and through which mediums), identify who you are trying to attract by the activity (age, geographic location, special interest group), and how much each will cost. Enter total cost under Expenses "Advertising" in Section 4.1 Program Budget.

Double space the table

Dates	Advertising medium (Print, TV, radio, internet, etc.)	Advertising reach (e.g. circulation, no. of flyers, no. of adverts, etc.)	Scope	Est. Cost
May-September	Facebook / Instagram	Facebook page, event, posts	Catchment within approximately 2 hour drive of Tocumwal encompassing Wagga, Albury-Wodonga, Wangaratta, Shepparton, Echuca-Moama, Deniliquin etc.	5000
May-September	Southern Riverina News	News story		N/A
May-September	Cobram Courier	News story		N/A
May-September	Border Mail	News story		N/A
May-September	Toc Flyer	Regular article each month		N/A
May-September	TV	Advertisement		5000
Total Advertising Cost				\$10,000

Part Four – Financial Details of Project

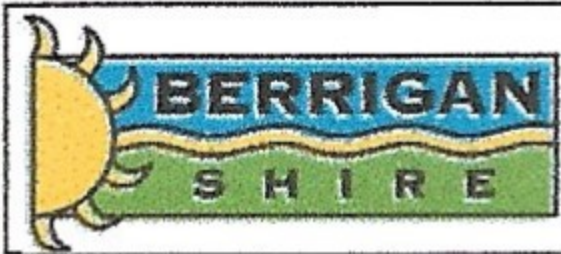
A copy of the groups/organisations latest annual report and financial statement (including balance sheet) must be attached to this application.

Double space the table.

4.1 Program Budget

INCOME	
Source	Total \$
Amount requested from Council (from Question 3.4)	15,000
Funds provided from your organisation	15,000
Corporate sponsorship	
Business/philanthropic contribution	
Other government contribution	
Fees/admission	90,000
Food and drinks	
Raffles/Fundraising	
Other (please specify)	
Total Income of event	120,000

EXPENSES	
Source	Total \$
Administration / Insurance	10,000
Advertising (from Question 3.7)	10,000
Printing	TBA
Marketing materials	2,500
Hire fees – PA system, toilets, waste, temp fencing	25,000
Entertainment	40,000
Food and drinks	
Prizes/donations	
Permit fees	
Other (please specify) Fuel, Accommodation & Meals	30,000
Total expenditure of event	\$117,500



Major Event Funding Application Form

Part Five – Authorisation and Compliance

This is to be signed by two executive committee members of the group/organisation

I declare that the information supplied in this form is to the best of my knowledge accurate and complete.

Name: MATT HENDERSON

Name: KAREN HENDERSON

Position: DIRECTOR

Position: EVENT MANAGER

Address: 8 LIBERATOR PLACE
TOCUMWAL

Address: 8 LIBERATOR PLACE
TOCUMWAL

Phone: (A/H) 0409 850 154

Phone: (A/H) 0421 331 761

(B/H)

(B/H)

Signature: [Signature]

Signature: [Signature]

Date: 14 MAY 21

Date: 14 MAY 21

Part Six - Checklist

	Yes (✓)	Committee Use Only
Required:		
All questions have been answered		
Copy of budget for the project		
Evidence of public liability insurance with coverage of \$20m, noting Berrigan Shire Council as an interested party		
If applicable:		
Copy of incorporation		
Proof of ABN		
Details of registration for GST		
Copy of latest Annual Report		
Additional supporting information		
Letter/s of endorsement from contributing organisations		
Letter/s from community groups/stakeholders supporting event		

Please forward completed applications to:

Berrigan Shire Council
Economic Development Officer
P.O. Box 137
BERRIGAN NSW 2712



Current details for ABN 83 639 914 373

ABN details

Entity name:	TOCUMWAL AIRSHOWS PTY LTD
ABN status:	Active from 23 Mar 2020
Entity type:	Australian Private Company
Goods & Services Tax (GST):	Not currently registered for GST
Main business location:	NSW 2714

ASIC registration - ACN or ARBN

639 914 373 [View record on the ASIC website](#)

Deductible gift recipient status

Not entitled to receive tax deductible gifts

Disclaimer

The Registrar makes every reasonable effort to maintain current and accurate information on this site. The Commissioner of Taxation advises that if you use ABN Lookup for information about another entity for taxation purposes and that information turns out to be incorrect, in certain circumstances you will be protected from liability. For more information see [disclaimer](#)

Certificate of Registration of a Company

This is to certify that

TOCUMWAL AIRSHOWS PTY LTD

Australian Company Number 639 914 373

is a registered company under the Corporations Act 2001 and
is taken to be registered in New South Wales.

The company **is limited by shares.**

The company is a **proprietary** company.

The day of commencement of registration is
the twenty-third day of March 2020.



ASIC

Australian Securities & Investments Commission

Issued by the
Australian Securities and Investments Commission
on this twenty-third day of March, 2020.

A handwritten signature in cursive script that reads "James Shipton".

James Shipton
Chair

CERTIFICATE



Berrigan Shire Council Development Assessment Report

1 Application Details

Development Application Number	184/21/DA/D1
Property Address	4 Moore Street, Tocumwal
Lot and DP	Lot 71 DP1254608
Description	BV Dwelling and Attached Garage
Applicant	GJ Lewis Homes
Applicant Address	PO BOX 2170, Shepparton Vic
Zoning	RU5 – Village
Owners Consent	Provided

2 Detailed Description of Proposal

The subject application is for the construction of a brick veneer dwelling with attached double garage.

The dwelling comprises of 4 bedrooms, laundry, a living area, dining and kitchen, A double garage is attached to the dwelling and allows for direct internal access, whilst an alfresco area is proposed at the rear of the dwelling, which will be directly accessible from the living area.

The dwelling will be single storey in height and will have a total area of 314.82sqm (including alfresco and garage)

The dwelling is proposed to be setback 4.5m to the front building.

The DA is non-compliant with the front setback articulation zone requirements, however this will be assessed on its merits as part of this assessment report.

3 Political Donations

Political Donations	None Disclosed
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4 Notification

Public Notification	No
Advertised Development	N/A
Date From: N/A	Date To: N/A
Newspaper:	N/A
Submissions Received:	Nil

5 History of Site/Development Applications

Date	Description
16/04/2021	DA Lodged

6 Development Contributions

Does the Berrigan Development Contributions Plan apply to the subject site?	Yes
Is a Section 7.12 Contribution required to be paid for this development proposal and has the applicable condition been applied to the consent?	No
Is a Section 7.11 Contribution required to be paid for this development proposal and has the applicable condition been applied to the consent?	No

7 Internal Referrals

DEPARTMENT	DATE REFERRED	COMMENTS/CONDITIONS
Director Technical Services	N/A	
Development Manager	N/A	
Building Surveyor	N/A	
Engineering Services Manager	N/A	
Design Engineer	N/A	
Environmental Engineer	N/A	
Town Planner	N/A	
Assets & Operations Manager	N/A	
NSW RFS	N/A	
Other State Government Agency?	N/A	

Comments/Conditions Imposed: N/A

8 Matters for Consideration under Section 4.15 of the EP&A Act

In determining a development application, a consent authority is required to take into consideration the following matters when considering a development application:

(a) (i) Any environmental planning instrument,

Satisfactory

Berigan Local Environmental Plan 2013	
Part 2: Permitted and prohibited development	
Zoning	RU5 Village
Use	A 'dwelling house' is permissible with consent in the zone Definition under LEP: 'dwelling house' means a building containing only one dwelling.'
Part 4 Development Standards	
Clause 4.1 Minimum Lot Size	Minimum Lot Size Applying: 600sqm Proposed: No change Complies: Yes

Part 5 Misc. provisions	
N/A	
Part 6 Additional Local Provisions	
<i>Clause 6.1 Earthworks</i>	<p>Matters for consideration: (2) Development consent is required for earthworks unless— (a) the earthworks are exempt development under this Plan or another applicable environmental planning instrument, or (b) the earthworks are ancillary to development that is permitted without consent under this Plan or to development for which development consent has been given.</p> <p>Comment: Development consent for earthworks is not required as they are considered exempt (i.e. less than 600mm).</p>
<i>Clause 6.8 – Airspace Operations</i>	<p>Matters for Consideration: If a development application is received and the consent authority is satisfied that the proposed development will penetrate the Limitation or Operations Surface, the consent authority must not grant development consent unless it has consulted with the relevant Commonwealth body about the application.</p> <p>Comment: Whilst it is acknowledged that the land is subject to the Obstacle Limitation Surface Map the proposed dwelling will not penetrate the Limitation or Operations Surface.</p>
<i>Clause 6.9 – Development in areas subject to aircraft noise</i>	<p>Matters for Consideration: Before determining a development application for development to which this clause applies, the consent authority— (a) must consider whether the development will result in an increase in the number of dwellings or people affected by aircraft noise, and (b) must consider the location of the development in relation to the criteria set out in Table 2.1 (Building Site Acceptability Based on ANEF Zones) in AS 2021–2000, and (c) must be satisfied the development will meet the indoor design sound levels shown in Table 3.3 (Indoor Design Sound Levels for Determination of Aircraft Noise Reduction) in AS 2021–2000.</p> <p>Comment: Whilst it is acknowledged that the subject land is located within proximity to the Tocumwal airport, the land is not located within the 20 ANEF corridor.</p>
<i>Clause 6.10 – Essential Services</i>	<p>Matters for consideration: Development consent must not be granted to</p>

	<p>development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—</p> <ul style="list-style-type: none"> (a) the supply of water, (b) the supply of electricity, (c) the disposal and management of sewage, (d) stormwater drainage or on-site conservation, (e) suitable vehicular access. <p>Comment: The proposed development contains all services (a)-(b) and (c). Furthermore (d) and (e) will be provided with construction of dwelling.</p>
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Murray Regional Environmental Plan No.2 – Riverine Land 1994	
Does this plan apply?	Yes
Planning Principles	
<p>When this Part applies, the following must be taken into account—</p> <ul style="list-style-type: none"> (a) the aims, objectives and planning principles of this plan, (b) any relevant River Management Plan, (c) any likely effect of the proposed plan or development on adjacent and downstream local government areas, (d) the cumulative impact of the proposed development on the River Murray 	<p>The subject land is located within a established residential subdivision and is well setback from the nearby Murray River.</p> <p>Impacts of the proposed development on the Murray River are considered low and therefore further consideration of this deemed SEPP is not required in this instance.</p>
Specific Principles	
N/A	

State Environmental Planning Policies

The following State Environmental Planning Policies apply to the subject development.

State Environmental Planning Policy No. 55 (Remediation of Land) 1998	
Trigger Clause	Clause 7
Clause	<p>(1) A consent authority must not consent to the carrying out of any development on land unless—</p> <ul style="list-style-type: none"> (a) it has considered whether the land is contaminated, and (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.
Objectives	N/A
Compliance/Comment	<p>The subject land is residentially zoned and it is deemed that it is unlikely to be contaminated.</p> <p>As outlined above, the lot is zoned residential and the</p>

	previous uses would not have been a use that has contaminated the subject site.
--	---------------------------------------------------------------------------------

State Environmental Planning Policy (Koala Habitat Protection) 2021	
Trigger Clause	Clause 6(1)
Clause	(1) This Policy applies to each local government area listed in Schedule 1.
Aims	To encourage the conservation and management of areas of natural vegetation that provide habitat for koalas to support a permanent free-living population over their present range and reverse the current trend of koala population decline.
Compliance/Comment	Whilst it is acknowledged that the Berrigan Shire Local Government Area is listed within Schedule 1 of this SEPP, the subject land contains no trees or vegetation and will therefore not have an adverse impact on koala populations.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	
Trigger Clause	Clause 6(1)(a)
Clause	(1) This Policy applies to buildings arising from the following development: (a) proposed BASIX affected development for which the regulations under the Act require a BASIX certificate to accompany a development application or an application for a complying development certificate or construction certificate,
Objectives	N/A
Compliance/Comment	A BASIX Certificate (& NaTHERs) was provided with the subject application. Condition of consent to be imposed to ensure compliance with BASIX Number 1036198S All BASIX commitments are shown on plans and matches what is proposed on plans.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority,

Satisfactory

(iii) any development control plan,

Satisfactory

Berrigan Development Control Plan 2014	
Part 2: Residential Development	Yes
Part 2.1: Neighbourhood character	Complies Dwelling provides suitable level of amenity and appropriate development for this area of Tocumwal. The dwelling is a standard project home which is a compatible dwelling type
Part 2.2: Streetscape	Complies Proposed dwelling is of a design that makes a positive contribution to the

	streetscape. Allows for passive surveillance to the street and integrates with the existing streetscape
Part 2.3: Landscaping	Complies Existing mature trees will be retained and the remainder of the garden will be conditioned to be landscaped appropriately.
Part 2.4: Private Open Space	Complies – adequate POS
Part 2.5: Building Setbacks	Building setbacks comply Front: 4.5m Side: 7.67m Side: 1.04m Rear: 7.02m Dwelling does not strictly comply with articulation zone requirements. 25% of front boundary = 3.45m Building width = 13.830m Articulation zone proposed = 6.45m The outcome proposed however does not create any additional impacts as proposed and will not be inconsistent with the existing character and streetscape of the area.
Part 2.6: Car parking & access	Complies – double garage supplied. Dimensions 6.2m x 7.4m complies with min standards Garage is setback 1m behind front building line.
Part 2.7: Site Facilities	Complies – clothes line to be conditioned to be provided prior to OC. Garbage bins to be located behind front setback.
Part 2.8: Security	Complies The site layout allows for appropriate security and viewing of the street.
Part 2.9: Privacy	Complies
Part 2.10: Energy Efficiency	Complies – BASIX commitments shown on plans. Orientation and solar access design elements have been employed to ensure appropriate and maximisation of daylight etc.
Part 2.11: Outbuildings	None proposed.
Part 3: Industrial Development	N/A
Part 3.1: Appearance	
Part 3.2: Landscaping	
Part 3.3: Building setbacks	
Part 3.4: Parking & Access	
Part 3.5: Outdoor areas	
Part 3.6: Amenity	
Part 3.7: Signage	
Part 4: Commercial Development	N/A
Part 4.1: Location	

Part 4.2: Appearance & design	
Part 4.3: Landscaping	
Part 4.4: Heritage	
Part 4.5: Signage	
Part 4.6: Parking	
Part 5: Tourist Accommodation	N/A
Part 6: Heritage Items and Conservation Areas	N/A
Part 6.1: Inventory Forms	
Part 6.2: Verandahs & Awnings	
Part 6.3: No control	N/A
Part 6.4: Building Height	
Part 6.5: Roof forms & pitch	
Part 6.6: Setbacks	
Part 6.7: Materials	
Part 6.8: Fenestration	
Part 6.9: Advertising & Signage	
Part 6.10: Fences	
Part 6.11: Infill development	
Part 7: Subdivision	N/A
Part 7.1: Context	
Part 7.2: Neighbourhood character	
Part 7.3: Staging	
Part 7.4: Movement Network	
Part 7.5: Activity centres & community facilities	
Part 7.6: Public Open Space	
Part 7.7: Landscaping	
Part 7.8: Lot design	
Part 7.9: Infrastructure & services	
Part 7.10: Natural Hazards	
Part 7.11: Site Management	
Part 8: Vegetation	N/A
Part 9: Tocumwal Aerodrome	N/A
Part 10: Watercourses & Riparian Land	N/A
Part 10.1: Visual Amenity	
Part 10.2: Boat ramps	
Part 10.3: Pontoons & walkways	
Part 10.4: Retaining walls	
Part 10.5: Stairs	
Part 10.6: Moorings	
Part 10.7: Liability & Public Safety	
Part 10.8: Landscaping	
Part 10.9: Unauthorised Structures	
Part 11: Flood Prone Land	N/A
Part 11.1: Objectives	
Part 11.2: Decision Guidelines	
Part 11.3: Consultation	
Part 11.4: Flood Planning Area	
Part 11.5: Definitions	

(iia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4,

Not Relevant

(iv) any matters prescribed by the regulations,

Not Relevant

that apply to the land to which the development application relates,

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

Satisfactory

(c) the suitability of the site for the development,

Satisfactory

(d) any submissions made in accordance with this Act or the regulations,

Nil

(e) the public interest.

Satisfactory

9 Compliance with LEP 2013 / other misc. considerations

Mapping Restrictions		Assessment Detail	
Is the site a heritage listed item or within a heritage conservation area?	No	If yes, address Clause 5.10 of LEP 2019 and confirm what level of significance it is? (e.g. local, regional or state).	Comment:
Is the site affected by land reservation or acquisition? (e.g. road widening, open space, trunk drainage etc)	No	If yes, what is the affectation and address Clauses 5.1 and 5.1(a) of LEP 2019.	Comment:
Is the site affected by Flood Planning Map	No	If yes, what is the affectation and address Clause 6.2 of BLEP2013	Comment:
Is the site affected by Terrestrial Biodiversity Map	No	If yes, what is the affectation and address Clause 6.3 of BLEP2013	Comment:
Is the site affected by Riparian Lands and Waterways Map	No	If yes, what is the affectation and address Clause 6.4	Comment:

		of BLEP2013	
Is the site affected by Wetlands Map	No	If yes, what is the affectation and address Clause 6.5 of BLEP2013	Comment:
Is the site affected by Explosive Storage Area Map	No	If yes, what is the affectation and address Clause 6.11 of BLEP2013	Comment:
Is the site affected by Obstacle Limitation Surface Map	Yes	If yes, what is the affectation and address Clause 6.8 and 6.9 of BLEP2013	Comment: See comments above
Is the site on the river bed, banks or river front areas of the Murray River	No	If yes, what is the affectation and address Clause 6.6 and 6.7 of the BLEP2013	Comment:
Clause 6.10 - Does the site contain essential services?	Yes – or is able to comply	(a) the supply of water, (b) the supply of electricity, (c) the disposal and management of sewage, (d) stormwater drainage or on-site conservation, (e) suitable vehicular access.	Comment: See comments above
Clause 6.1 – Earthworks	Yes – however consent is not required	If yes, describe extent of earthworks and affectation and address Clause 6.1(3)	Comment:
Bushfire Prone Land	No	BAL/APZ requirements	N/A

10 Submissions

Submission Issue(s)	Justification for Favorable Determination
N/A	

11 Conclusion

The Development Application has been assessed against the heads of consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979, Local Environmental Plan 2014 and Development Control Plan 2012 and is considered satisfactory.

Conditions to be added to consent

Approved Plans

The development must be carried out in accordance with the approved plans and other supporting documentation listed below, except where amended by other conditions of consent:

Description	Sheet	Date
Site Plan	A01	31/03/2021
Floor Plan	A02	31/03/2021
Elevations	A03	31/03/2021
Sections	A04	31/03/2021
Wall Sections	A05	31/03/2021
Wall Sections	A06	31/03/2021
Electrical Layout	A07	31/03/2021
Internal Elevations	A08	31/03/2021
Cupboard Elevations	A09	31/03/2021
Heating and Colling	A10	31/03/2021
Floor Coverings	A11	31/03/2021

Garbage Bin Storage

All waste bins are to be located and stored in a position behind the front building line. If the proposed bin area is viewable from the street it is to be appropriately screened from view.

Clothes Drying Facilities

Clothes drying facilities (clothes line or the like) must be provided and installed in accordance with the manufacturer's instruction prior to the issuance of an Occupation Certificate.

PUBLIC NOTIFICATION OF THE DETERMINATION PURSUANT TO ITEM 20(2) (c) AND (d) OF SCHEDULE 1 OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

DECISION:

APPROVED

DATE OF THE DECISION:

6 May 2021

REASONS FOR THE DECISION:

The Development Application has been assessed against the relevant heads of consideration under the following statutory requirements (keep whichever is relevant):

- Section 4.15 of the Environmental Planning and Assessment Act, 1979
- Murray Regional Environmental Plan No.2 – Riverine Land 1994
- Berrigan Local Environmental Plan 2014
- Berrigan Development Control Plan 2012
- State Environmental Planning Policy No. 55 (Remediation of Land) 1998
- State Environmental Planning Policy (Building Sustainability Index: (BASIX) 2004
- State Environmental Planning Policy (Koala Habitat Protection) 2021

and is considered satisfactory subject to conditions as outlined in the Notice of Determination.

HOW COMMUNITY VIEWS WERE TAKEN INTO ACCOUNT IN MAKING THE DECISION:

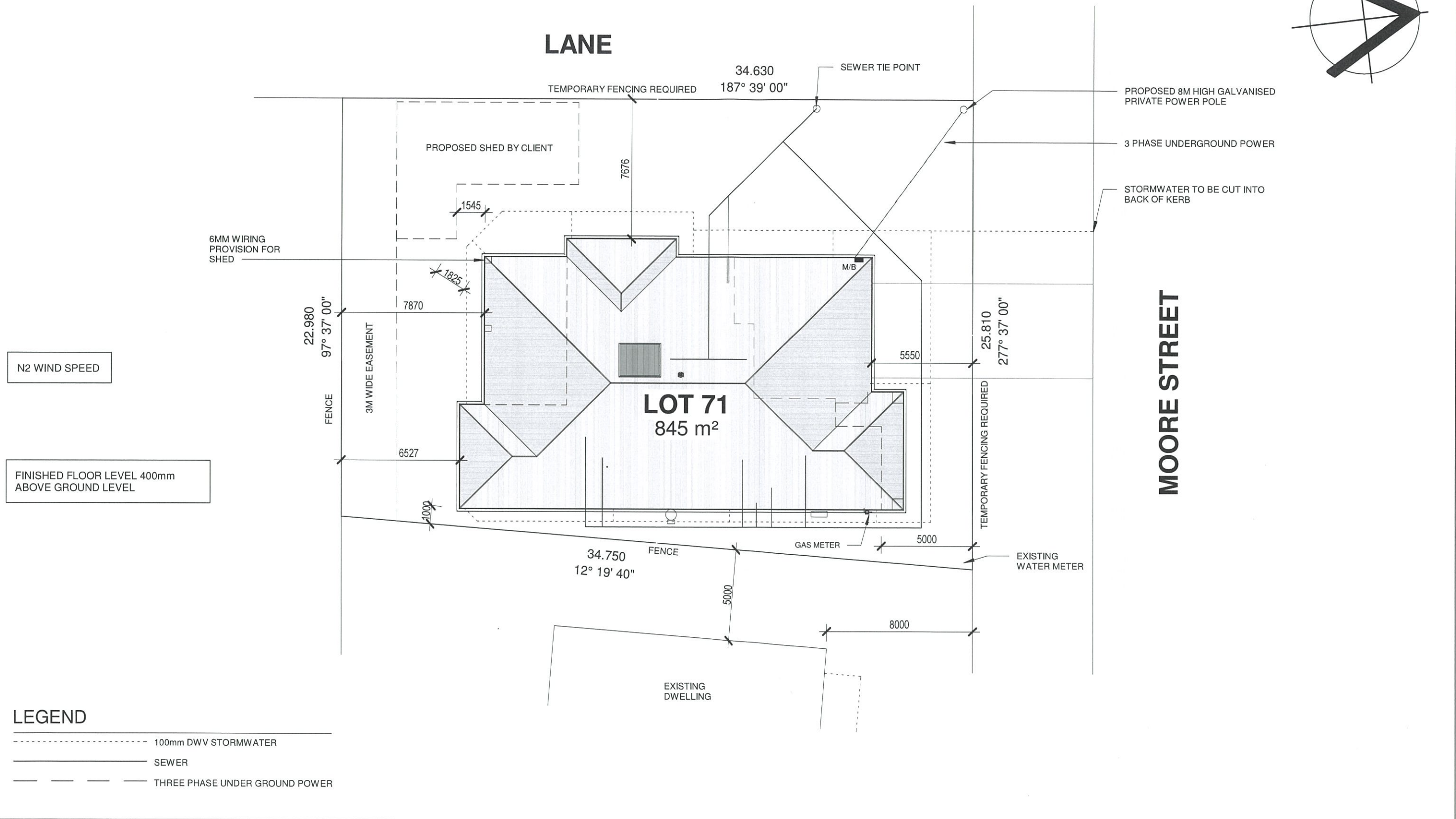
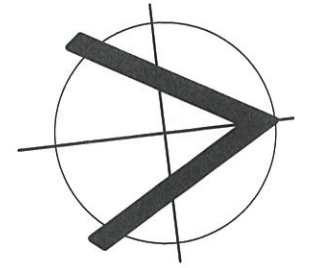
1. The Development Application was notified in accordance with Section 2 of the Berrigan Community Engagement Framework & Community Participation Plan 2019 and Part 12 of the Berrigan Development Control Plan 2012 which outlines the advertising and notification procedure pathways for various forms of development.
2. The Development Application has been assessed having regard to Section 4.15(e) of the Act taking into consideration the public interest.

12 Signature of Applicable Officers

Name:	
Position:	
Signature:	
Date:	

NOTES

STORMWATER & SEWERAGE TO LEGAL POINTS OF DISCHARGE.



LEGEND

- 100mm DWV STORMWATER
- _____ SEWER
- - - - - THREE PHASE UNDER GROUND POWER



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G.J.Lewis Homes Pty. Ltd.
Shepparton: P.O.Box 2170 Shepparton VIC. 3632
Ph: (03) 5823 2179 Fax: (03) 5823 2136
VIC Licence CDB-U 66238
NSW Licence 124796C

Project Details
Proposed Residence for Kevin & Marg Moore
Lot 71 Moore Street, Tocumwal

Drawing Title
Site Plan

Base Plan
Oxley 25A

Job No.	Drawn
Scale	Checked
Date	Amendment
Sheet	
A01	

31/03/21	J.D.
----------	------

LEGEND

- FW ○ FLOOR WASTE
- DP ○ DOWNPIPE
- AJ ARTICULATION JOINT
- SD ○ SMOKE DETECTOR
- ⊕ THERMOSTAT
- ⊗ SEWER VENT PIPE

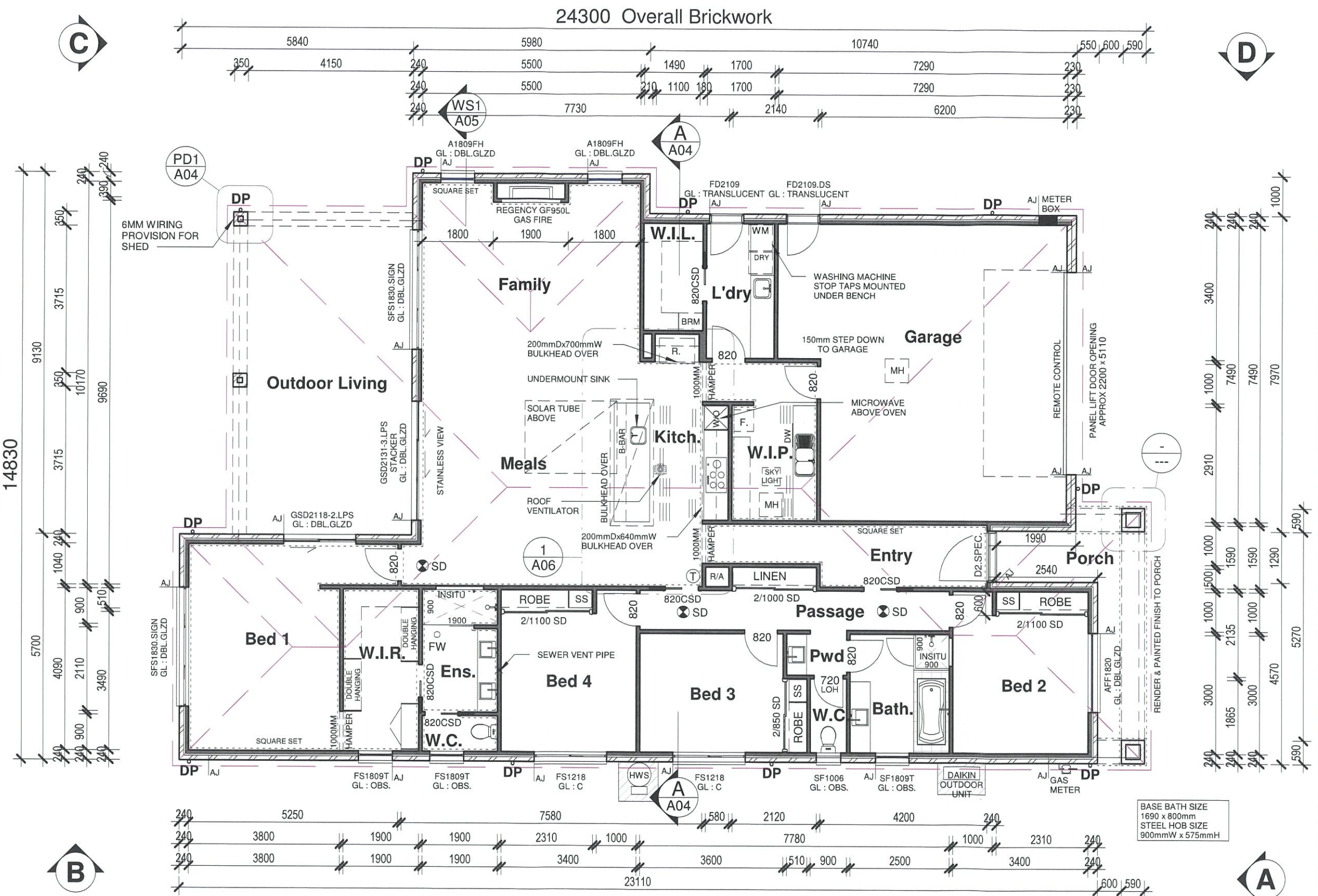
NOTES

- All external walls 240mm unless otherwise specified.
- All internal walls 90mm unless otherwise specified.
- Finished floor level 400mm above finished ground level or a minimum of A.H.D.
- 300mmH Waffle pod slab to residence only.
- 2550mm Ceiling Height to residence.
- Colorbond roofing @22.5° pitch to Steel trusses @1200mm ctrs.
- 2340mmH Internal Doors
- All hampers 2350mm High unless otherwise specified.
- Smoke detection device to be installed adjacent to bedroom areas in accordance with A.S.3786 & Part 3.7.2 of the BCA.

POWER & WATER TO ISLAND BENCH

AREAS - 2550mm Ceiling Height

Area	m2	Sq's
Residence	216.30 m ²	23.28
Garage	54.15 m ²	5.83
Outdoor	36.59 m ²	3.94
Porch	11.28 m ²	1.21
Grand total	318.31 m²	34.26



BASE BATH SIZE
1690 x 800mm
STEEL HOB SIZE
900mmW x 575mmH



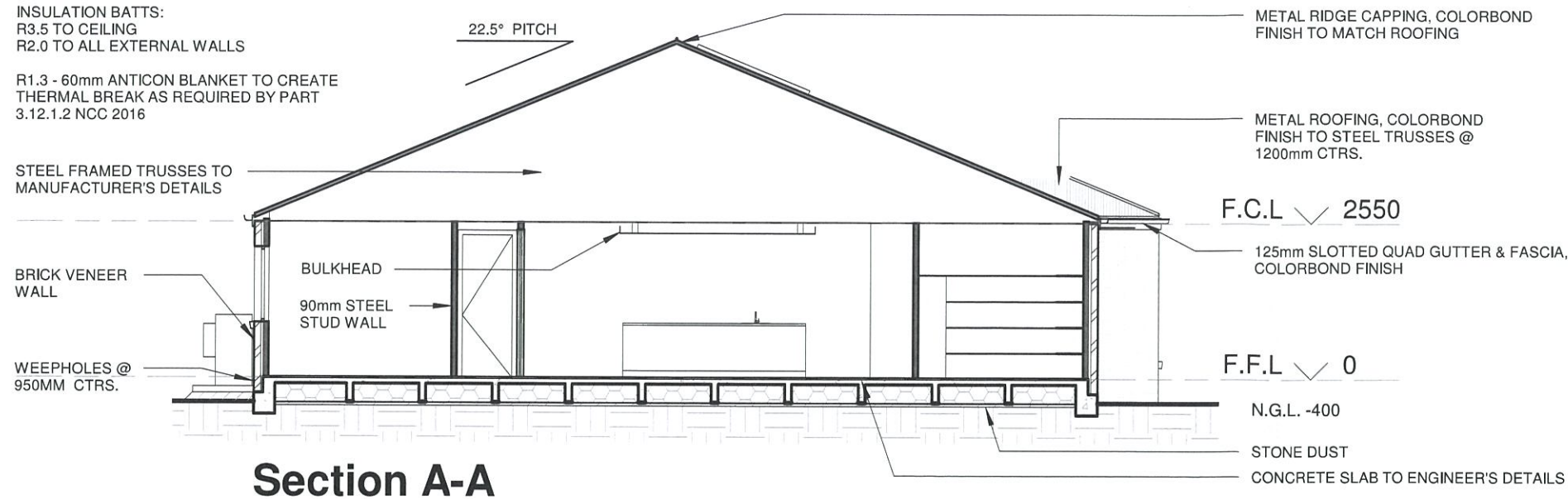
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Project Details
Proposed Residence for Kevin & Marg Moore
Lot 71 Moore Street, Tocumwal

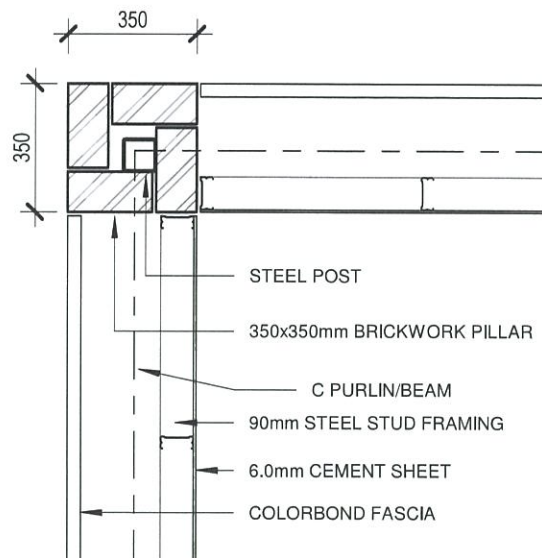
Drawing Title
Floor Plan
Base Plan
Oxley 25A

Job No. Drawn
C.S.
Scale Checked
1 : 100
Date Amendment
31/03/21

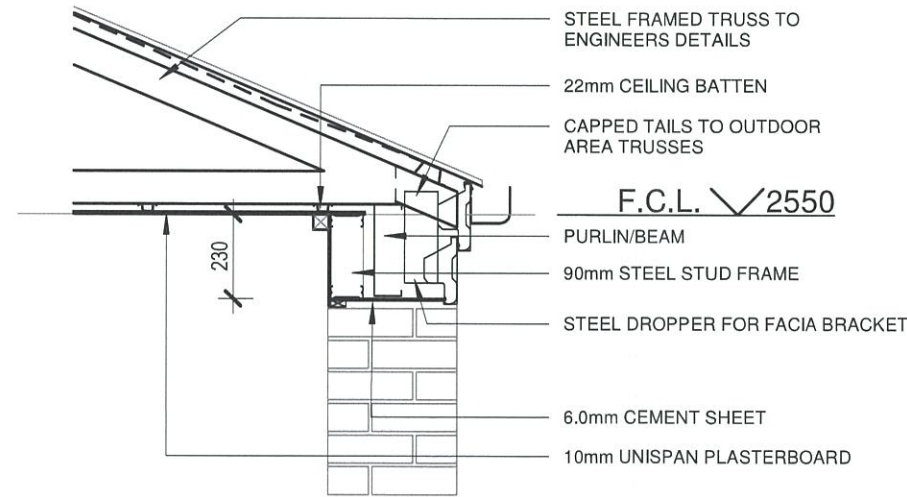
Sheet
A02



Section A-A



PD1
A02 1 : 20



SD - Outdoor
1 1 : 20

Window Schedule				
Location	Type	Height	Width	GlazeType
Bedroom 2	A2109T	1800	2000	GL : DBL.GLZD
Bathroom	SF1809T	1830	850	GL : OBS.
WC	SF1006	980	610	GL : OBS.
Bedroom 3	FS1218	1230	1810	GL : C
Bedroom 4	FS1218	1230	1810	GL : C
Ensuite	FS1809T	1830	850	GL : OBS.
W.I.R.	FS1809T	1830	850	GL : OBS.
Bedroom 1	SFS1830.SIGN	1830	3010	GL : DBL.GLZD
Bedroom 1	GSD2118-2.LPS	2130	1810	GL : DBL.GLZD
Meals	GSD2131-3	2130	3010	GL : DBL.GLZD
Family	SFS1830.SIGN	1830	3010	GL : DBL.GLZD
Family	A1809FH	1830	850	GL : DBL.GLZD
Family	A1809FH	1830	850	GL : DBL.GLZD
Laundry	FD2109	2130	850	GL : C
Garage	FD2109.DS	2280	850	GL : C

BASIX PROVISIONS

Insulation

- R2.0 Wall batts
- R3.5 Ceiling batts
- Double glazed windows as shown on floor plan

Fixtures

- Min. required:
- Showerheads = 3 Stars
 - Toilet Systems = 4 Stars
 - Kitchen Tapware = 4 Stars
 - Basin Tapware = 4 Stars
 - HWS - Solar tube with gas backup
 - Daikin single phase ducted heating, Zoned
 - Daikin single phase Cooling, Zoned
 - Gas cooktop & electric oven

Cloths line to be installed.
(Position to be confirmed on site by client)

NOTES

GENERAL
1. LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY AND ARE TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE SLABS AND FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.
CONCRETE SLABS AND FOOTINGS
* ALL FOOTINGS AND SLAB AS PER ENGINEERS DESIGN & TO BE CONSTRUCTED IN ACCORDANCE WITH A.S 2870-2011.

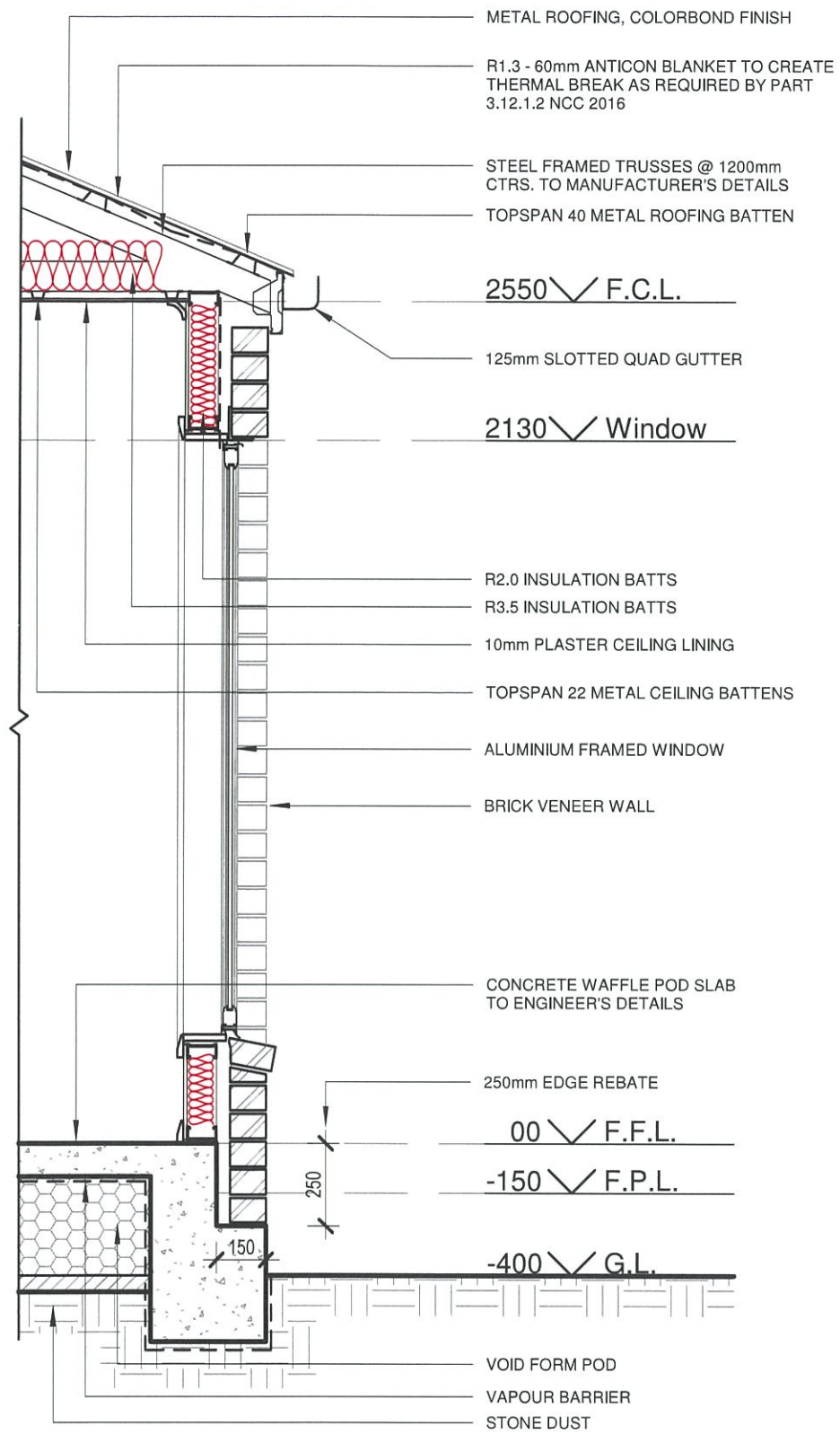
WINDOWS AND DOORS
1. ALL EXTERNAL WINDOWS AND GLAZED DOORS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES UNLESS OTHERWISE NOTED. ALL GLAZING TO COMPLY WITH A.S 1288-2006 (DOORS & WINDOWS).
ROOF STRUCTURE
1. FOR STRUCTURAL DETAILS REFER TO ENGINEERS COMPUTATIONS.
2. ROOF BATTENS TO BE 40mm 'TOP HAT' SECTION.
3. CEILING BATTENS TO BE 22mm 'TOP HAT' SECTION.
4. ROOFING MATERIAL AS NOTED ON ELEVATIONS AND PLAN.
5. GUTTERS - REFER TO SPECIFICATIONS.
6. DOWNPIPES - REFER TO SPECIFICATIONS.

WALL FRAMING
1. FOR STRUCTURAL DETAILS REFER TO WALL FRAMING MANUAL.
WALL FRAME BRACING
1. FOR ACTUAL CONFIGURATION AND RACKING CAPACITY OF EACH TYPE OF BRACING PANEL REFER TO THE LYAGHT FRAMING MAN.
2. FOR VALUES OF WALL BRACING CAPACITIES FOR THIS HOUSE REFER TO BRACING TABLES IN WALL FRAMING DESIGN MANUAL.
DRAINAGE
1. DRAINAGE AS PER LOCAL AUTHORITY PLAN.
2. ROOF WATER TO STORMWATER CONNECTION.

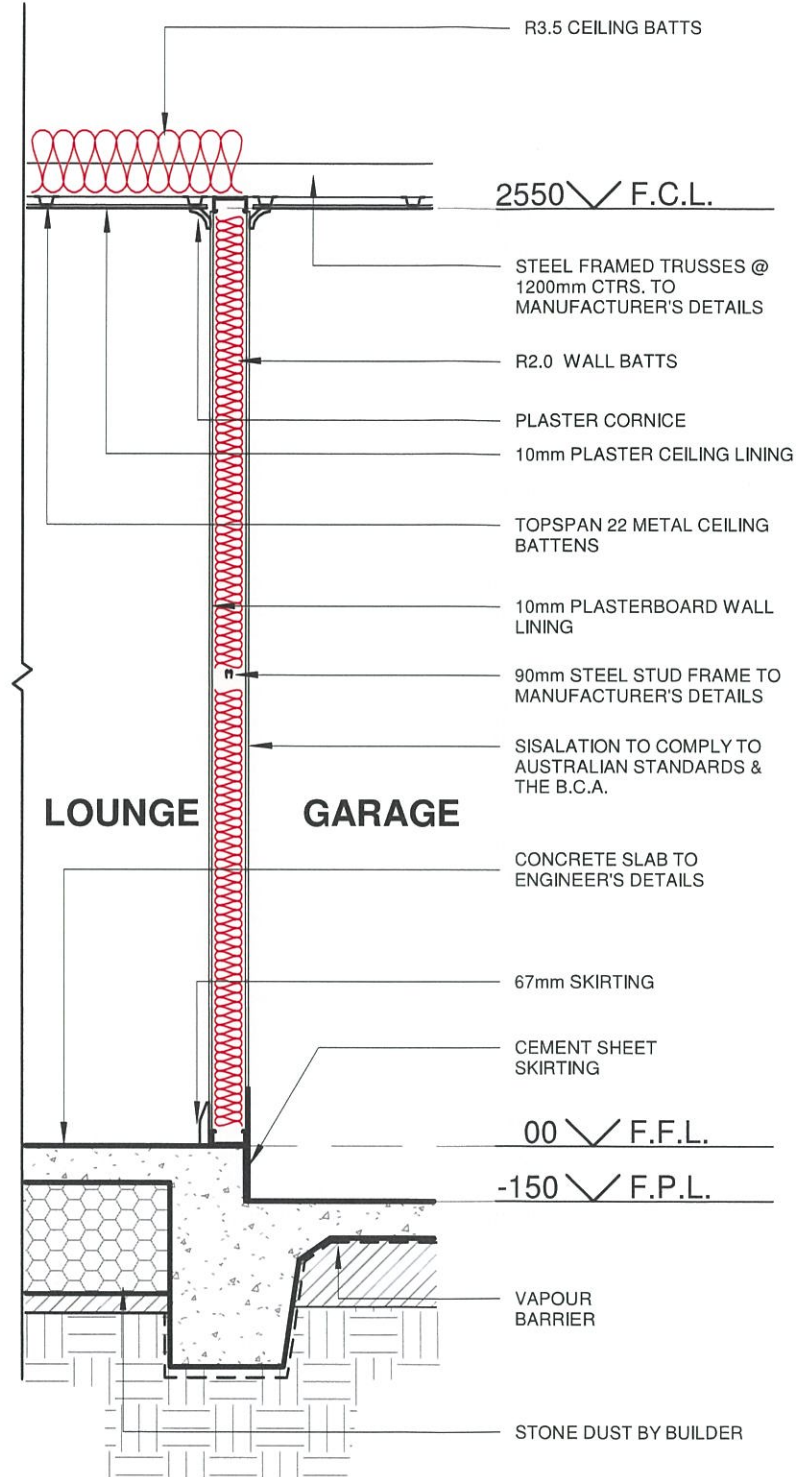
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Project Details
Proposed Residence for Kevin & Marg Moore
Lot 71 Moore Street, Tocumwal
Drawing Title
Section
Base Plan
Oxley 25A

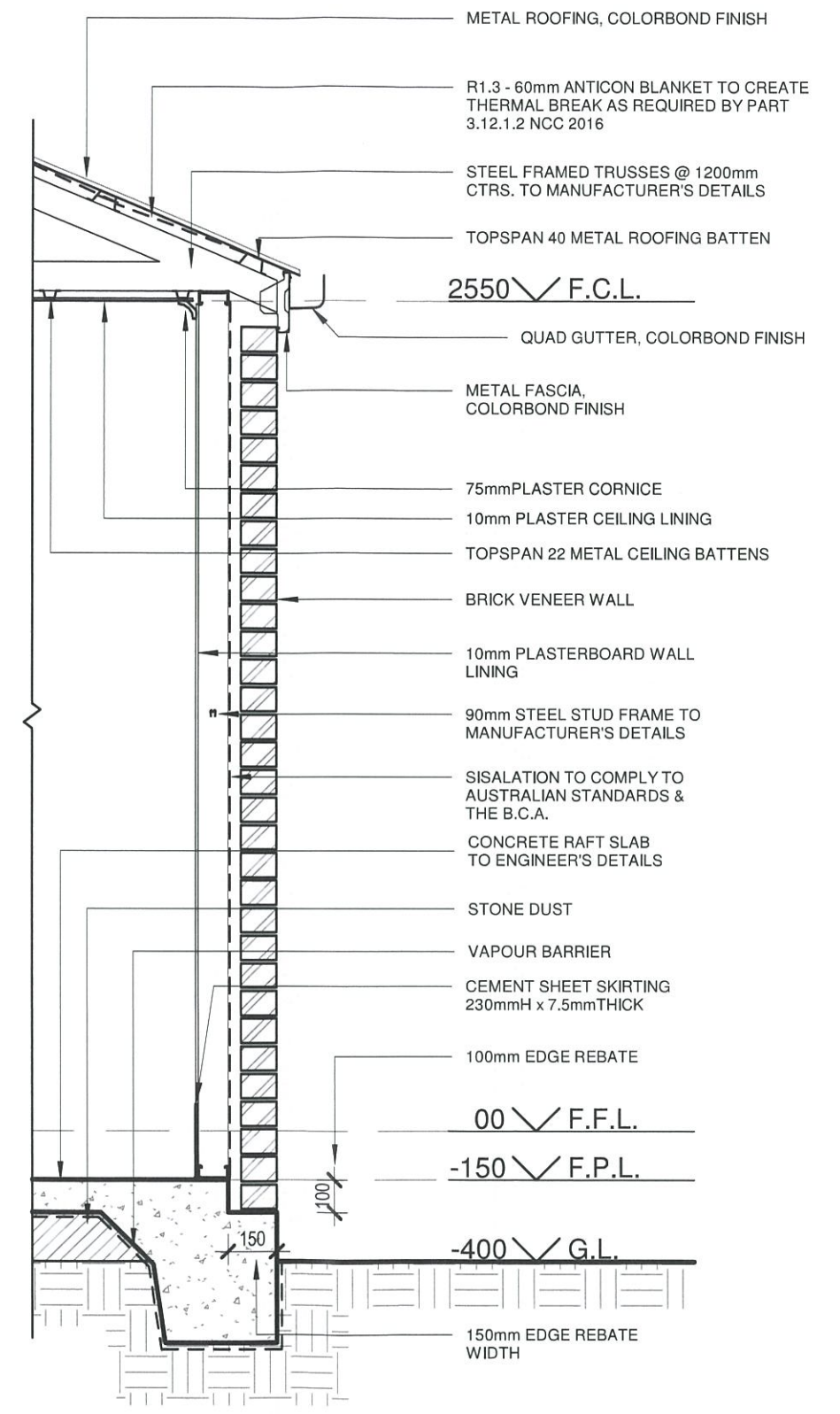
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Scale Checked
As indicated
Date Amendment
31/03/21
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A04



WS1
A02 1 : 20



WS2
1 : 20



1 WS3
1 : 20



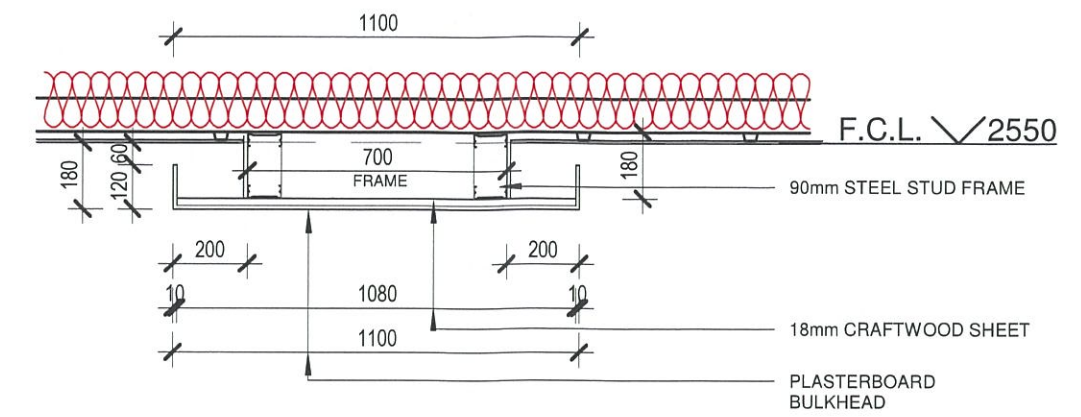
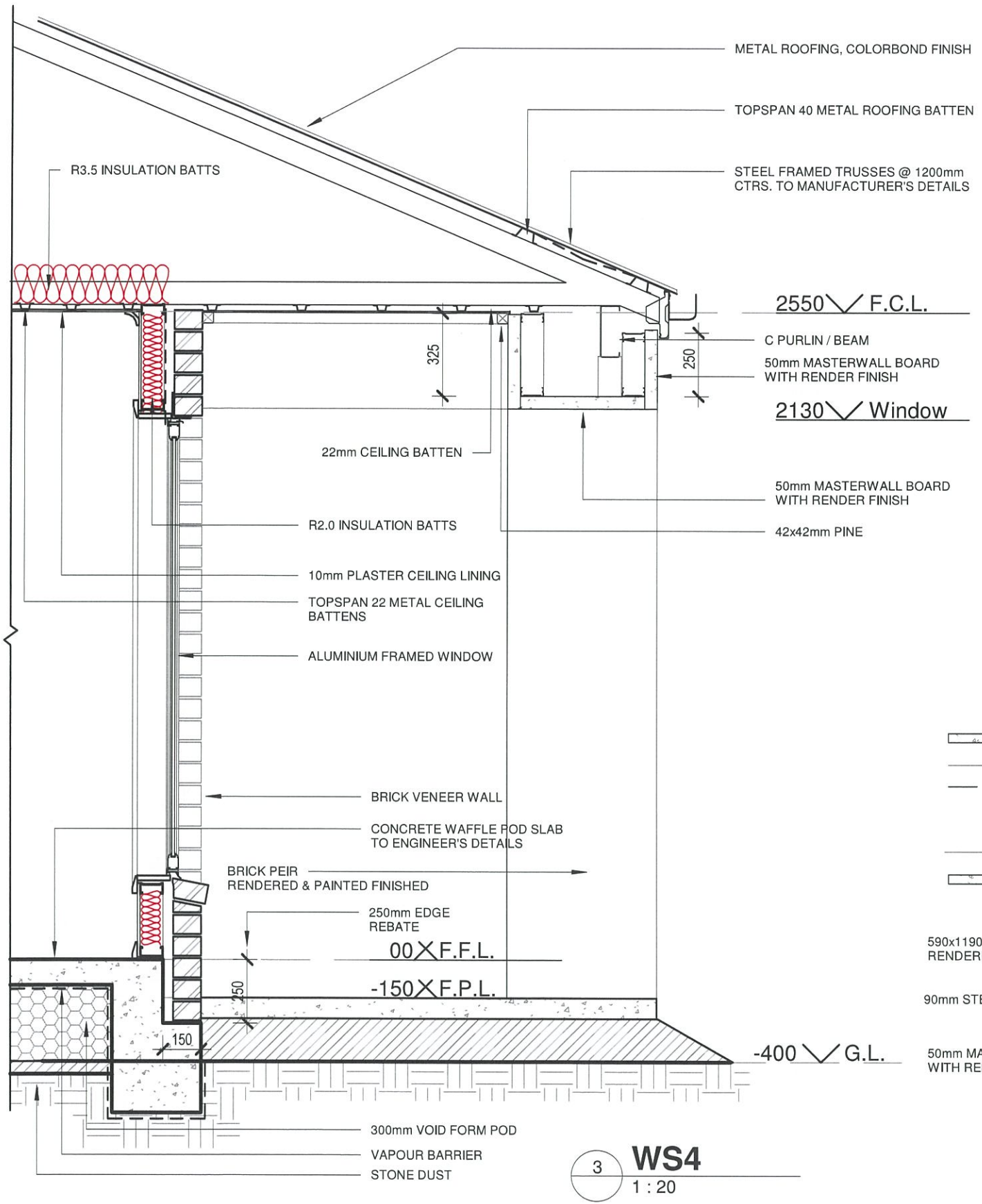
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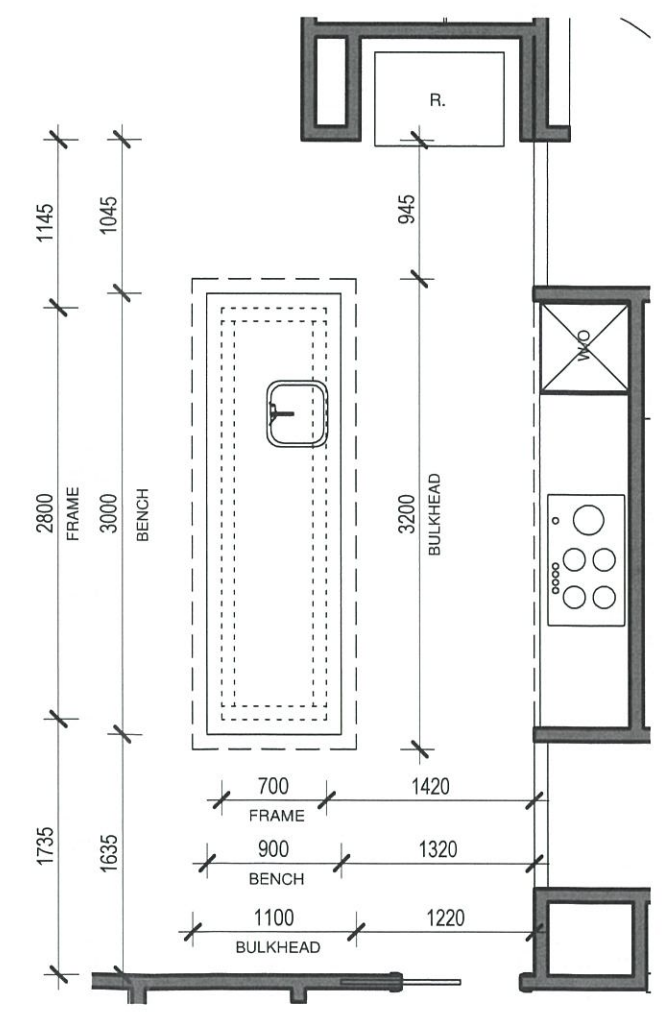
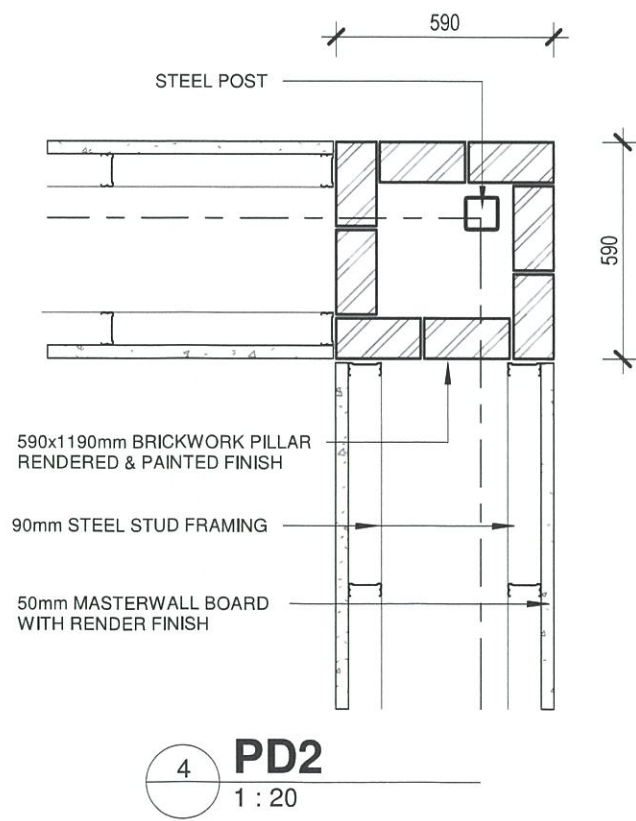
Drawing Title
Wall Sections

Base Plan
Oxley 25A

Job No.	Drawn
Scale	C.S.
1 : 20	Checked
Date	Amendment
31/03/21	
Sheet	
A05	



Kitchen Bulkhead



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Project Details
Proposed Residence for Kevin & Marg Moore
Lot 71 Moore Street, Tocumwal

Drawing Title
Porch / Kitchen

Base Plan
Oxley 25A

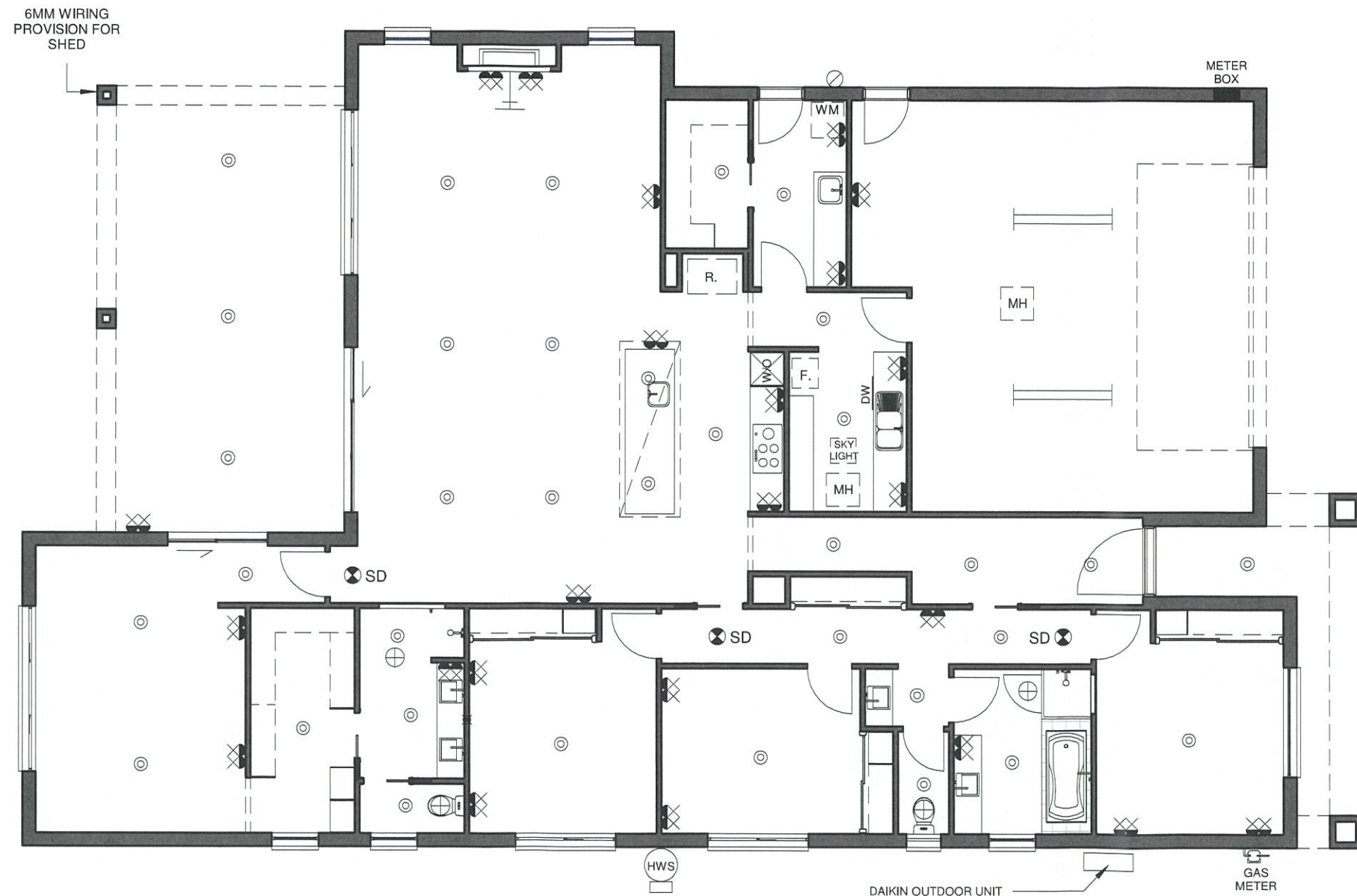
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Scale	C.S.
As indicated	Checked
Date	Amendment
31/03/21	
Sheet	
A06	

ELECTRICAL SYMBOLS		QTY
⊖	BATTEN HOLDERS (EXTERNAL)	7
⊙	LED DOWNLIGHTS	42
—	2x18 WATT DIFFUSED LED FLURO	2
⊕	TWO WAY SWITCHING (POSITIONS TO BE ADVISED BY OWNER)	3
⊕	EXHAUST FAN - SEALED (WITH DRAUGHT STOPPER)	4
⊖	SINGLE GENERAL PURPOSE OUTLET (INTERNAL - SEE BELOW)	5
⊖	DOUBLE GENERAL PURPOSE OUTLET (INTERNAL)	21
⊖	DOUBLE GENERAL PURPOSE OUTLET & USB CHARGER PORT (INTERNAL)	4
⊖	DOUBLE GENERAL PURPOSE OUTLET (EXTERNAL WEATHERPROOF)	2
⊖	DIRECT WIRED APPLIANCES (WALL OVEN)	1
SD	SMOKE DETECTOR	2
—	TELEVISION COAXIAL POINTS	2

OWNER TO MEET ELECTRICIAN ON SITE TO DISCUSS ACTUAL POSITIONS OF POINTS FROM ALLOWANCES

ARTIFICIAL LIGHTING REQUIREMENTS

- * DWELLING LIGHTING
MAXIMUM WATTS ALLOWED = 1081 WATTS
- * VERANDAH, PORCH & OUTDOOR LIVING LIGHTING
MAXIMUM WATTS ALLOWED = 191 WATTS
- * 40 LUMENS PER WATT REQUIRED TO EXTERNAL LIGHTING
OTHER THAN DEFINED AREAS.



DAIKIN 15.5kw UNIT



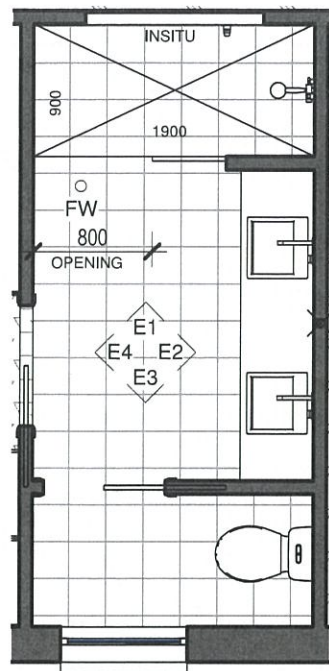
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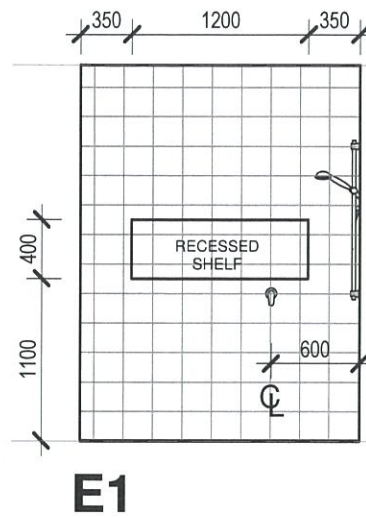
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Electrical Plan

Base Plan
Oxley 25A

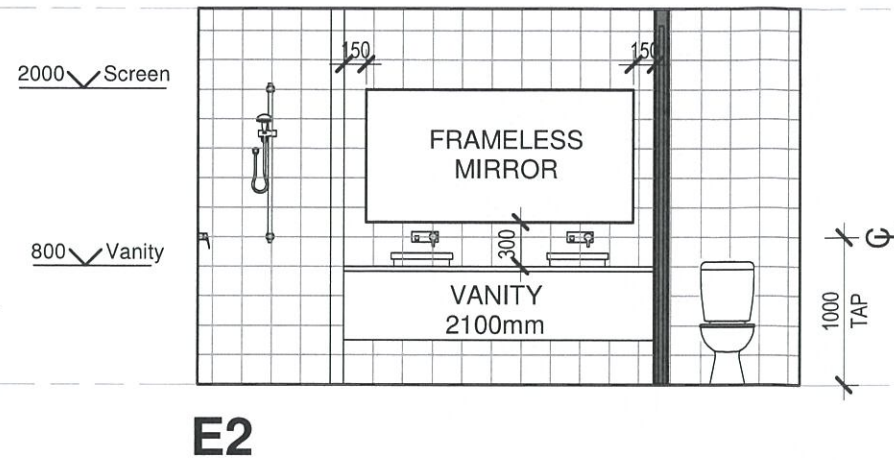
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Date	Amendment
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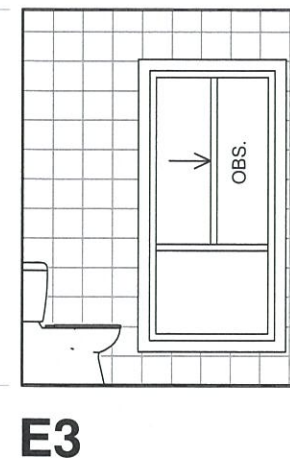
Ensuite



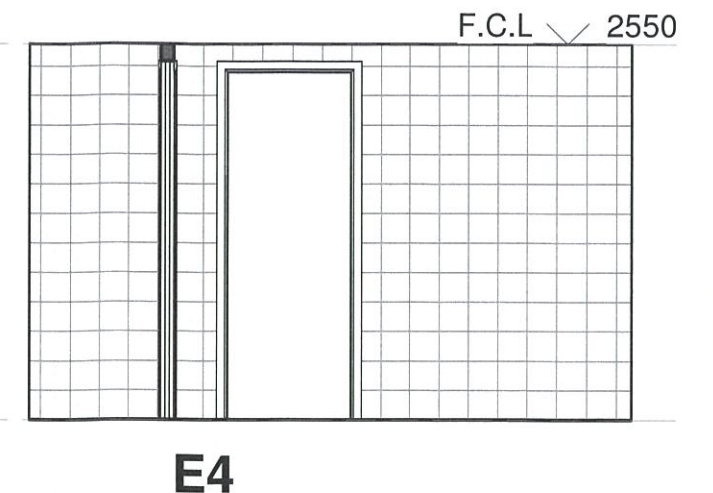
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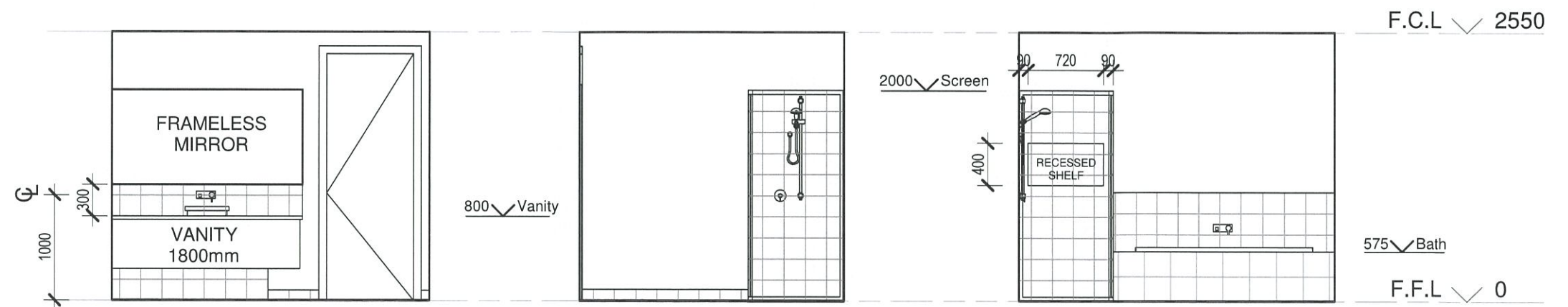
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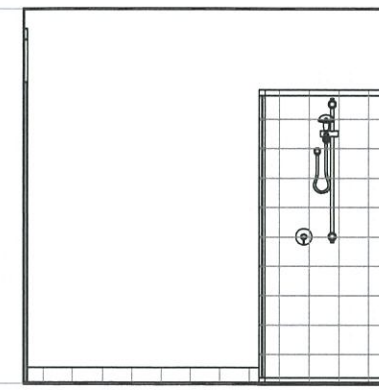
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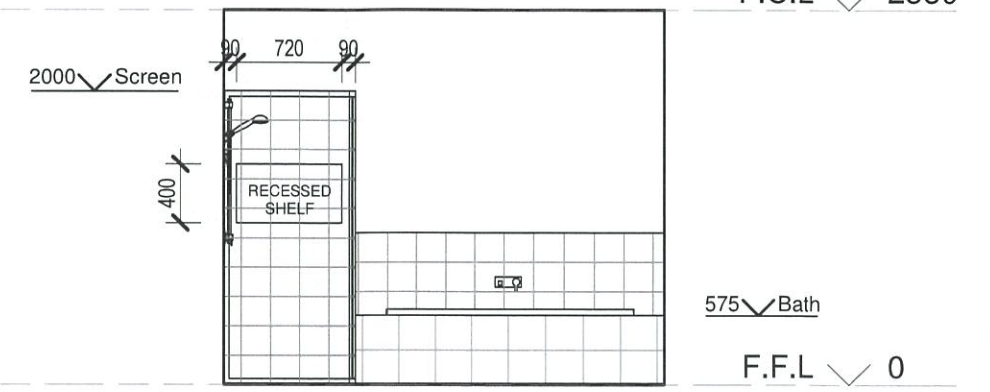
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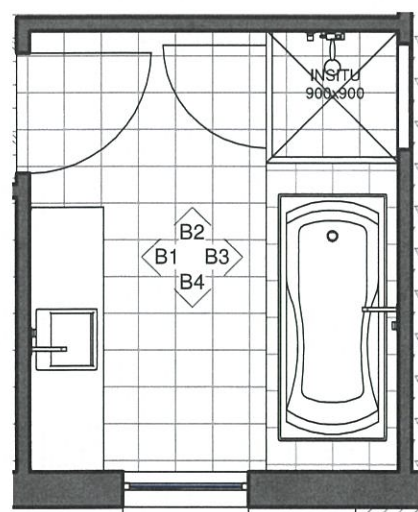
B1



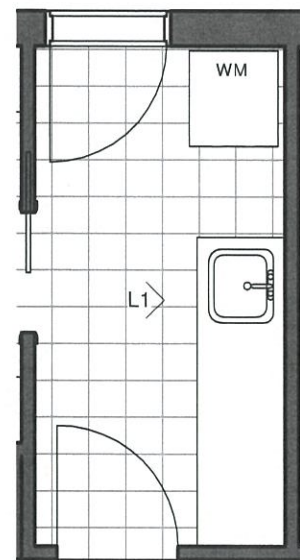
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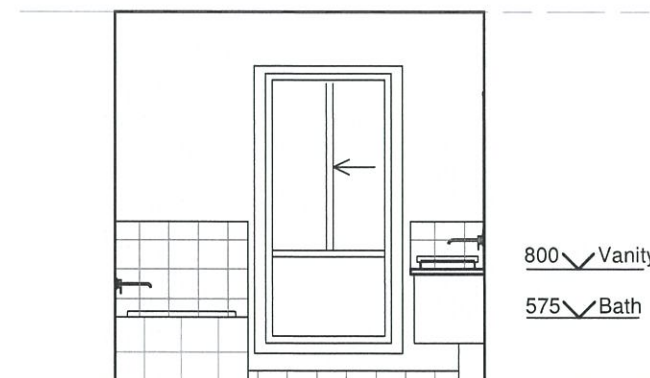
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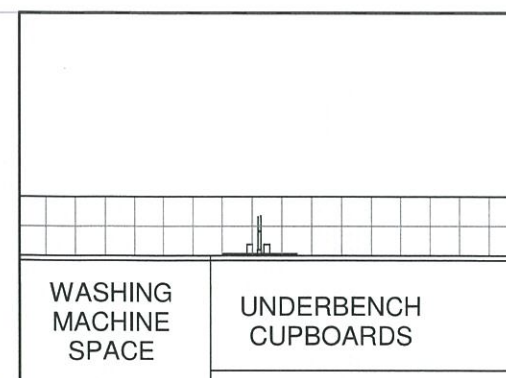
Bath



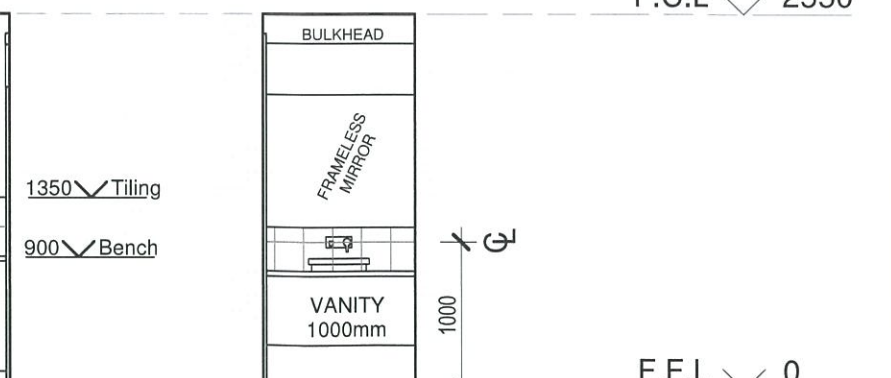
Laundry



B4



L1



Powder



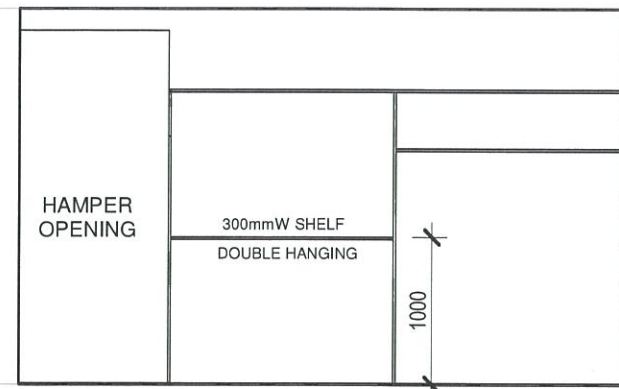
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Project Details
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Lot 71 Moore Street, Tocumwal

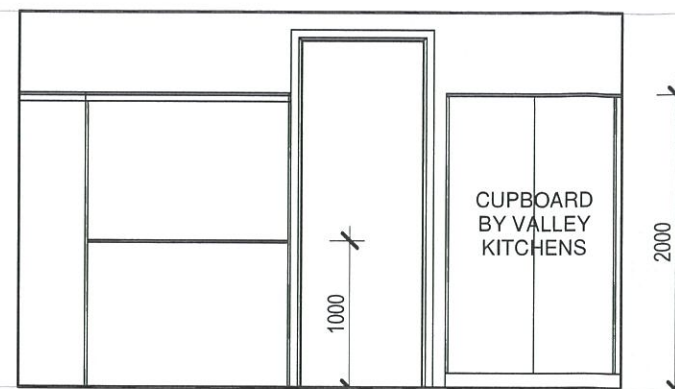
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Internal Elevations

Base Plan
Oxley 25A

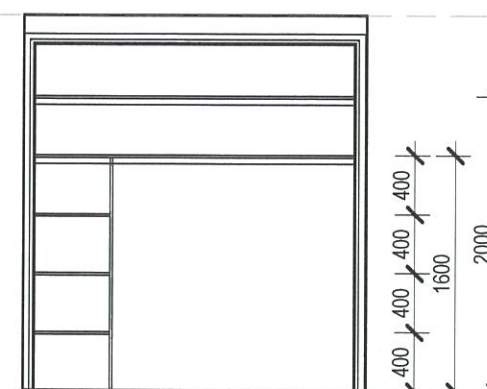
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Date	Amendment
31/03/21	
Sheet	
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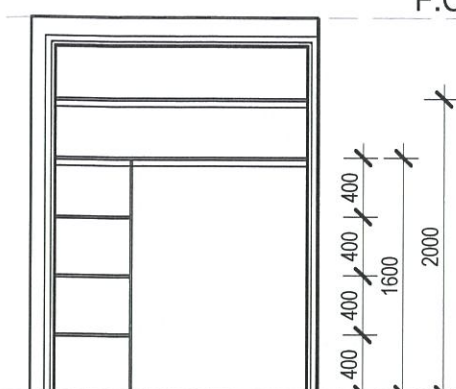
W.I.R.
1/2350mmH x 900mmW Hamper



W.I.R..

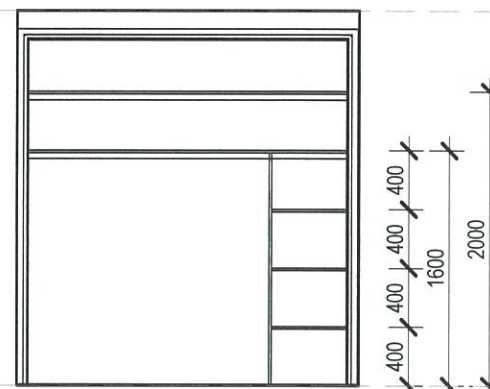


Bed 2
2/2400mmH x 1100mmW sliding doors

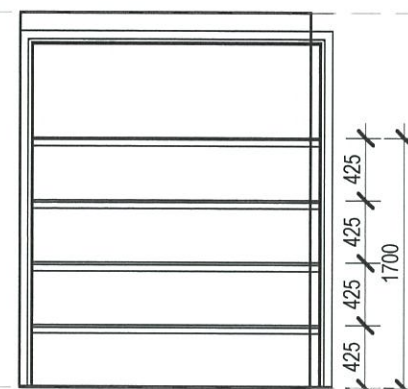


Bed 3
2/2400mmH x 850mmW sliding doors

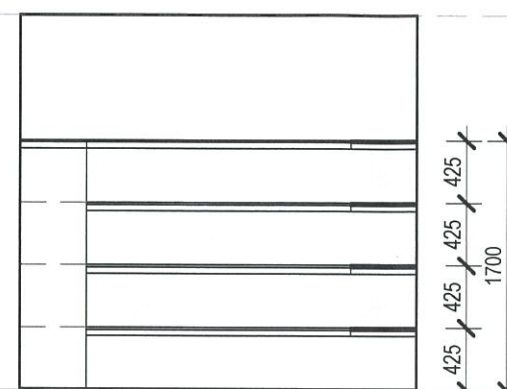
F.C.L. 2550



Bed 4
2/2400mmH x 1100mmW sliding doors

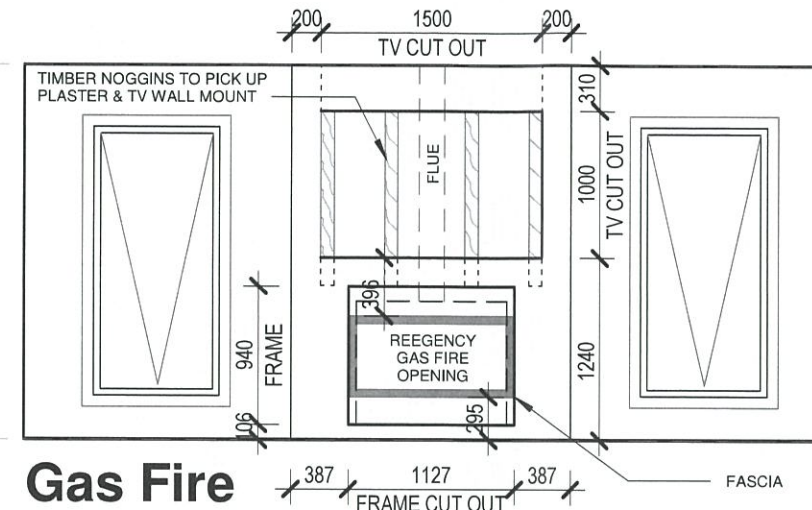


Linen
2/2400mmH x 1000mmW sliding doors



W.I.L.
1/2340mmH x 820mmW Cavity sliding door (front elevation)

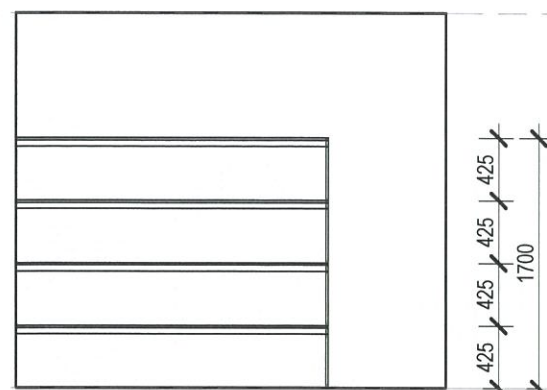
F.C.L. 2550



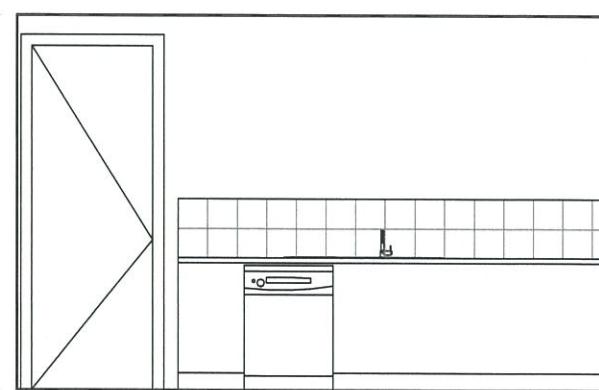
Gas Fire

F.C.L. 2550

F.F.L. 0



Pantry
1/2400mmH x 900mmW Hamper (Right elevation)



Pantry.

F.F.L. 0

ALL SLIDING DOORS TO MATCH 2340mm HIGH INTERNAL DOORS

NOTES

- INTERNAL DEPTH OF CUPBOARDS ARE 510mm UNLESS OTHERWISE SPECIFIED.
- WHITE MELAMINE SHELIVING TO ALL CUPBOARDS.
- SHELIVING DEPTH IS 445mm UNLESS OTHERWISE SPECIFIED.
- PILLAR SHELF SUPPORTS TO BE INSTALLED WHERE REQUIRED.
- REFER TO FLOOR PLAN FOR POSITIONS OF SHIRT SHELVES.



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Project Details
Proposed Residence for Kevin & Marg Moore
Lot 71 Moore Street, Tocumwal
Drawing Title
Cupboard Elevation
Base Plan
Oxley 25A

Job No.	Drawn
Scale	Checked
Date	Amendment
Sheet	
A09	

Job No.	Drawn
Scale	Checked
Date	Amendment
Sheet	
A09	

Heating & Cooling

DAIKIN 15.5kw SINGLE PHASE INVERTER SPLIT DUCTED SYSTEM
 - 10 OUTLET POINTS

* OUTLETS ARE APPROXIMATELY ONLY DUE TO POSITIONS OF TRUSSES AND BATTENS.

ZONES:

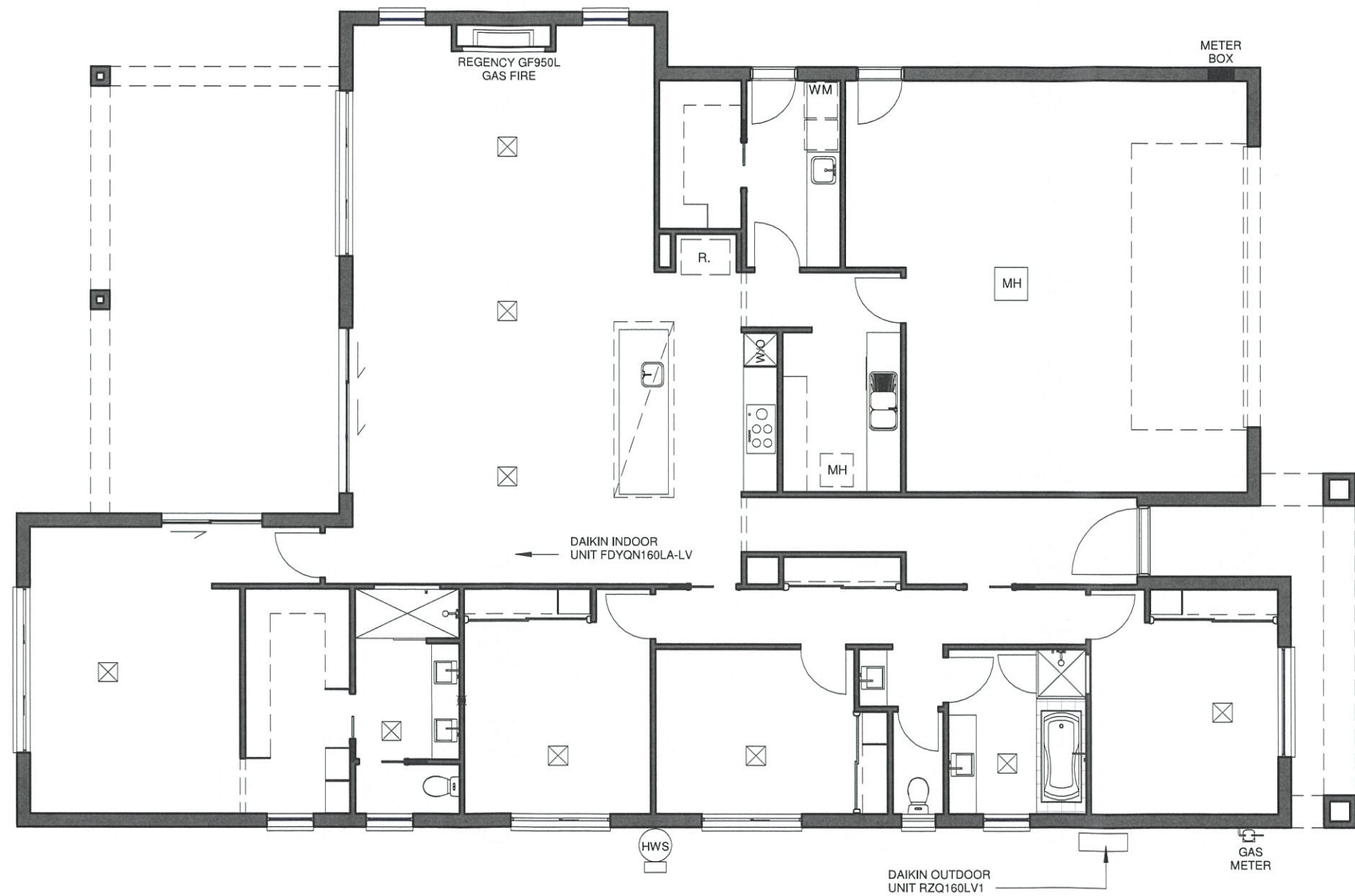
Common Zone: Kitchen, Meals & Entry

Zone 1: Lounge

Zone 2: Bedroom 1 & Ensuite

Zone 3: Bedroom 2

Zone 4: Bedroom 3, 4 & Bathroom



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Project Details

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Lot 71 Moore Street, Tocumwal

Drawing Title

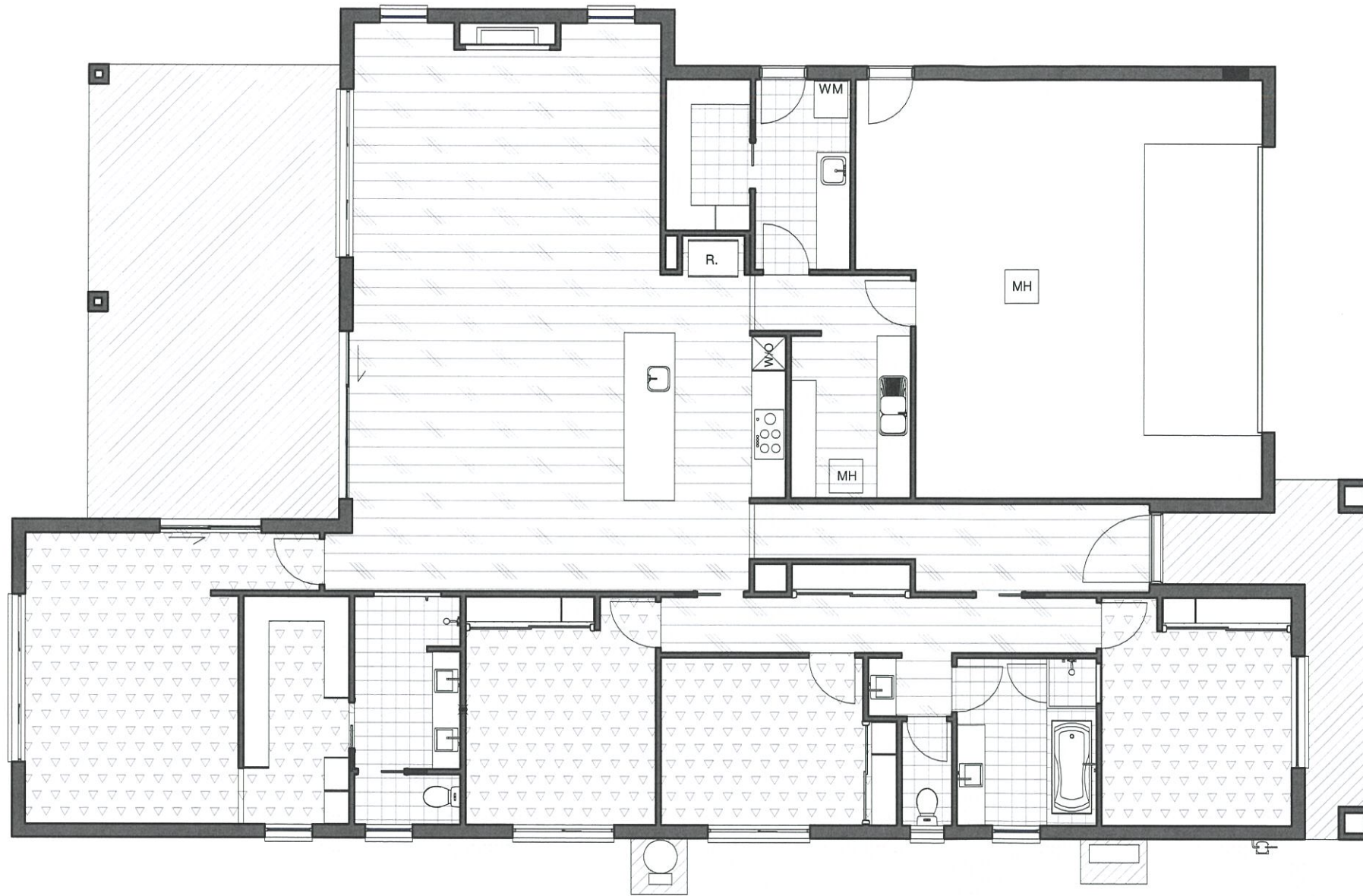
Heating & Cooling





Base Plan

Oxley 25A

Job No.	Drawn
Scale	Checked
Date	Amendment

Sheet
A10



-  Vinyl Plank By Builder
-  Floor Tiling By Builder
-  Carpets By Builder
-  Plain Concrete 49m2 By Builder



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Project Details
Proposed Residence for Kevin & Marg Moore
Lot 71 Moore Street, Tocumwal

Drawing Title
Floor Coverings

Base Plan
Oxley 25A

Job No.	Drawn
Scale	Checked
1 : 100	J.D.
Date	Amendment
31/03/21	
Sheet	
A11	



Local Government Partners Value Proposition 2021 - 2024

MRT Local Government Partner Value Proposition

Introduction

Murray Regional Tourism (MRT) is the peak cross border tourism entity for the Murray region and its inception came from a partnership between the Local Governments within the broader Murray region along with Visit Victoria (formerly Tourism Victoria) and Destination NSW.

The foundation of MRT and more broadly regional tourism boards was to address the fragmented approach to growing the visitor economy over extended periods of time by both State and local government partners which had resulted in a decline in visitation over the preceding 10 year period.

MRT Structure

The MRT is structured as a Company Limited by Guarantee and operates with long term strategic plan to grow the visitor economy, a clearly defined charter, and Memorandum of Understandings and funding agreements to protect all organisations involved in the partnership.

The Board has an Independent Chair, Skills Based Directors and Directors appointed by the Riverina & Murray Joint organization, Murray River Group of Councils to ensure strong cross section of skills from both the private and public sector.

The organisation is managed by a Chief Executive Officer and supported by an Administration Assistant, and contracted marketing, digital, and industry development specialists as required to deliver our associated annual programs.

Purpose

MRT exists to set the overarching strategic direction for the visitor within the Murray region and to guide and contribute to the holistic development of the visitor economy. To achieve this, the Board focuses on four key pillars as identified in the Strategic Plan, namely:

- 1. Industry development** – Improving the quality of tourism experiences in the region through industry education and support.
- 2. Product development**- Facilitate investment in infrastructure, new products and experiences that revitalise the Region's tourism offer.
- 3. Regional marketing**- Lead and support the Murray Region in the development of collaborative marketing programs.
- 4. Leadership and advocacy**- Leading the growth and development of the Murray Region through expert knowledge, advocacy and industry engagement.

MRT Local Government Partner Value Proposition

In addition to the four strategic pillars MRT provides:

- Clear leadership for what was a previously fragmented industry
- Formal partnership for local government authorities to work together on visitor economy opportunities and identified issues
- Strong advocacy at all levels of Government on behalf of the sector
- Better coordination between all the key organisations involved within the visitor economy and a reduced duplication of effort across the region
- Improved communication between government and all industry stakeholders operating across the region
- Professional tourism leadership with direct links to key funding organisations - both State and Federal Governments
- A central point of contact for State and Federal Governments on visitor economy related issues
- Regional ownership of the strategic direction of the visitor economy through the locally managed approach and not by the state tourism offices

Why a Regional Tourism Board

The Board unites the Murray region's tourism industry ensuring memorable visitor experiences within this beautiful river destination. Over the life of MRT the entity has had a positive impact across the sector, working to address many issues including fragmentation, poor resourcing, crisis management, heavy reliance on volunteers, assisted drive increased investment, cross border issues and a duplication of resources and effort.

The Board develops an overarching tourism strategy in conjunction with its stakeholders, provides clear developmental direction, focused product development and support for infrastructure developments within the region.

Since its inception MRT has delivered:

- A regional and coordinated approach to managing the visitor economy across the Murray region
- Significant growth in the visitor economy, employment and infrastructure development through our effective partnerships
- Reduction of duplication of effort through improved efficiencies in resource utilisation
- Increased investment from State government in the regions visitor economy

MRT Local Government Partner Value Proposition

- A region wide sharing of tourism knowledge and skills
- A strong representative voice for the visitor economy in the Murray region
- Strong working relationships with State Governments and a lead agency for Local Government to address issues of regional wide significance
- Coordinated approach to create benefits and efficiencies that has delivered a sustainable return on investment to the LGAs
- Provision of expertise not necessarily available within each Local Government organisation.

Key Outcomes

Murray Regional Tourism as an enabler for collaboration has proven the regional approach delivers outcomes. Pre COVID 19, the Murray was experiencing record visitation, overnight stays, visitor expenditure and jobs across the region.

Through the collaborative approach with our Local Government partners and two State Government agencies MRT has demonstrated the regional model is highly effective. The table below provides a high level summary of the benefits derived from a whole of region strategic approach.

Visitation Tracking Data Murray Region 2011-2019

Measure	YE Dec 11	YE Dec 19	% Change
Total visitation to Murray Region	4.5 million	6.8 million	+51%
Total Nights	7.6 million	11.6 million	+52%
Total Expenditure	\$1.02 billion	\$2.1 billion	+105%
Domestic Overnight Visitors	2.1 million	3.2 million	+52%
Domestic Overnight Nights	6.5 million	9.8 million	+50%
Domestic Overnight Expenditure	\$750 million	\$1.5 billion	+100%
Domestic Daytrip Visitors	2.4 million	3.5 million	+46%
Domestic Daytrip Expenditure	\$252 million	\$359 million	+42%
International Visitors	50,200	72,000	+43%
International Nights	1.1 million	1.8 million	+63%

Source: Tourism Research Australia NVS/IVS December 2011 and Dec 2019

In addition to the significant uplift on all key matrix which the Strategic plan and associated annual plans focus on achieving, MRT over the past four years have also delivered a range of key programs and projects which provide direct and indirect benefit to our LGA partners and add value to the overall Murray region visitor economy.

MRT Local Government Partner Value Proposition

Key activities to note include:

- 1.** Implementation of the 2015-2020 Strategic Plan along with 2020-2021 COVID Strategic Plan ensuring a holistic focus on both supply and demand issues in the region to support growth goals and objectives
- 2.** Continued as the lead cross border tourism entity for growing the visitor economy in the Murray region in partnership with both state and local governments
- 3.** Generated over \$2 million in direct investment by our NSW and Victorian government into the regional tourism partnership and leverage LGA investments
- 4.** Development of Murray region Destination Management Plan to set long term strategic direction for region and support destinations
- 5.** Supported significant growth in employment, visitation, nights, expenditure to record levels prior to COVID.
- 6.** Supported significant projects and aided investment in various key infrastructure priorities
- 7.** Facilitated whole of region tourism crisis management plan and associated crisis management committee to respond to and deal with crisis events. Activities have included, delivery of crisis media training, advocacy, research and marketing activation as examples along with specific detailed work to address COVID 19 and the associated border closures
- 8.** Undertook review of Murray Region brand and delivered refreshed brand strategy and approach along with cooperative marketing programs
- 9.** Development and delivery of strategic projects to address identified opportunities and growth including delivery of Murray Farm to Plate Strategy and associated programs, Visitor Transformation Strategy, Ports of Murray Region projects, Murray River Adventure Trail investment secured of \$10.3 million
- 10.** Development of and implementation of the 2018-2023 Murray Strategic Marketing plan to provide strategic direction to assist our LGA and State government partners better coordinate marketing investment
- 11.** Secured significant marketing investment and support from both DNSW and Visit Victoria to elevate the profile of the Murray region and associated destinations
- 12.** Continue to deliver strong Advocacy support on behalf of the sector to all levels of government to reduce barriers and impediments to growth of the region
- 13.** Invested in focused Research program providing valuable research to our partners, industry and government to assist monitor and assess the performance and strength of the visitor economy
- 14.** Implementation of Industry Development program to build skills and capacity of the sector
- 15.** Enhancement of new Digital program to provide consumer centric whole of Murray platform along with associated partner sites and activations

Through MRT the above overview of the various whole of region programs and activities have been able to be delivered for the benefit of LGA partners. Without a central lead entity these strategic investments and activities would not have been achieved by any one individual LGA or State agency.

MRT Local Government Partner Value Proposition

The Future

Over the next three years MRT will develop and deliver the 2021-2024 strategic plan. The plan will focus on building back the regions visitor economy from the current heavily impacted levels which latest research for the period ending December 2020 places the region at nearly 50% of pre COVID visitation, visitor nights and expenditure levels.

The focus of the organisation will be to continue to work in collaboration with both our LGA and State government partners to create region wide solutions to restore the visitor economy and set about building a viable and sustainable regional economy.

Key focus areas will include:

- 1.** Implementation of the 2021-2024 Strategic Plan ensuring a holistic focus on the overall management of the destination through addressing both supply and demand issues
- 2.** Continue as the lead cross border tourism entity for rebuilding the visitor economy in the Murray region in partnership with both state and local governments
- 3.** Undertake a review and deliver a refreshed Murray Region Destination Management Plan
- 4.** Work with our LGA partners and the private sector to identify a pipeline of infrastructure and investment opportunities for the region to strengthen the regions visitor experience
- 5.** Work with partners to maximise marketing spend against shared objectives to drive increased visitation and yield
- 6.** Oversee the implementation of Stage 1 of the Murray River Adventure Trail project along with the continued pursuit of funding for future stages
- 7.** Continue to build industry capacity through delivery of best practice education and training initiatives
- 8.** Coordinate access to timely and relevant research which provides shared benefits to our partners and industry
- 9.** Continue to be key contact between the local industry, LGAs and government on tourism marketing, destination management planning, industry development and tourism product priorities
- 10.** Provide strategic advice, access to skills and information from a whole of region perspective to avoid duplication of effort and maximise resources
- 11.** Coordinate and deliver digital program to ensure a visitor focused whole of Murray experience
- 12.** Assist LGA and industry with procurement of funding for key initiatives and events
- 13.** Facilitate the implementation of the Murray Visitor Engagement Strategy
- 14.** Advocate on whole of region cross border issues impacting the sector
- 15.** Assist with implementation of the NSW Visitor Economy Strategy 2030 and Victorian Visitor Economy Recovery & Reform plan

MRT Local Government Partner Value Proposition

In addition to the above strategic initiatives, at the commencement of each financial year, MRT will provide a detailed annual plan to our local government partners outlining the key projects and activities that MRT will deliver in partnership with our stakeholders.

Funding Model

The funding model was designed in consultation with both State and local government partners and the structure agreed to by the local government partners based on ensuring it provided an opportunity for strong collaboration along with a high level of equity.

To achieve this the model consists of a two stage approach with each LGA partner contributing a flat fee as a base and the second element is to pay a levy per domestic overnight visitor night generated.

This model has been in existence since formation in 2010 and has remained relatively static over this period with the exception of CPI increases. With the development of the new 3 year MOU, the Board undertook a review of the operating environment and associated cost imposts to continue to deliver the cross border approach along with the need to respond to COVID 19 impacts and rebuild the visitor economy to determine the future arrangements.

The funding model remains centered on the two stage approach with the investment framework staged over the life of the agreement to provide incremental increases in investment required to support the sector as we recover from COVID.

The Partner Council contributions will be a flat fee of \$7,500 per participating Council per annum plus a payment based on domestic visitor nights based on the below:

2021-2022	3.3 cents per Domestic Visitor night (based on 3 year average of the National Visitor Survey for the period ending December 2019).
2022-2023	3.7 cents per Domestic Visitor night (based on 3 year average of the National Visitor Survey for the period ending December 2019).
2023-2024	4 cents per Domestic Visitor night (based on 3 year average of the National Visitor Survey for the period ending December 2019).

The visitor nights time period has been selected based on pre COVID level data as this provides the benchmark from which we can all work to building back the economy. The three-year average has been selected to align with the previous MOU structure and is designed to remove any high peaks which could otherwise increase the contribution of an LGA.

The time period also aligns with the strategic work which is being under with both the NSW and Victorian government who are using the pre COVID levels to inform recovery strategies.

MRT Local Government Partner Value Proposition

A detailed funding table is provided below outlining each of our partners total respective investment over the life of the agreement.

PARTNER COUNCILS	2021-2022 \$ 3.3 cents	2022-2023 \$ 3.7 cents	2023-2024 \$ 4 cents	Visitors ('000) 3yr Avg (YE Dec 19)
Albury City Council	46,869	51,641	55,220	1,193
Berrigan Shire Council	21,426	23,114	24,380	422
Campaspe Shire Council	54,426	60,114	64,380	1,422
Federation Council	22,449	24,261	25,620	453
Edward River Council	16,245	17,305	18,100	265
Gannawarra Shire Council	17,796	19,044	19,980	312
Greater Hume Shire Council	11,922	12,458	12,860	134
Mildura Rural City Council	57,099	63,111	67,620	1,503
Moira Shire Council	45,912	50,568	54,060	1,164
Murray River Council	24,825	26,925	28,500	525
Swan Hill Rural City Council	27,201	29,589	31,380	597
Wodonga City Council	23,934	25,926	27,420	498
Wentworth Shire Council	13,539	14,271	14,820	183
Total	\$383,643	\$418,327	\$444,340	8,671



Berrigan Shire Council Development Assessment Report

1 Application Details

Development Application Number	189/21/DA/DM
Property Address	11 Murray Street, Tocumwal
Lot and DP	Lot 1-2 DP511822 and Lot 1 DP101725
Description	Demolition of Existing Motel
Applicant	Berrigan Shire Council
Applicant Address	56 Chanter Street, Berrigan
Zoning	RU5 – Village
Owners Consent	Provided

2 Detailed Description of Proposal

The subject application is for the demolition of the Tocumwal Motel building and ancillary structures at 11 Murray Street Tocumwal.

The subject site is identified as being located in the Tocumwal Heritage Conservation Area under Schedule 5 of the *Berrigan Local Environmental Plan 2013*. A Statement of Heritage Impact (SOHI) was prepared by Noel Thomson Architecture to support the development application.

The site currently consists of an existing motel built c1960's and consists of 10 rooms with ensuite bathrooms located on the ground floor with a 2 storey managers residence to the front block facing Murray St above the reception. The motel also had associated car parking, BBQ / entertainment area and swimming pool.

The site is located on the corner of Deniliquin and Murray Streets and has a frontage of 25m to the street and is approximately 45m in depth.

A site inspection was undertaken on Thursday 3 June. The existing front façade is shown in the photos below.



3 Political Donations

Political Donations	None Disclosed
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4 Notification

Public Notification	Yes
Advertised Development	Yes
Date From: 26/04/2021	Date To: 10/05/2021
Newspaper:	Yes
Submissions Received:	One (1) submission

5 History of Site/Development Applications

Date	Description
22/04/2021	Development Application lodged

6 Development Contributions

Does the Berrigan Development Contributions Plan apply to the subject site?	Yes
Is a Section 7.12 Contribution required to be paid for this development proposal and has the applicable condition been applied to the consent?	No
Is a Section 7.11 Contribution required to be paid for this development proposal and has the applicable condition been applied to the consent?	No

7 Internal Referrals

DEPARTMENT	DATE REFERRED	COMMENTS/CONDITIONS
Director Technical Services	N/A	
Development Manager	N/A	
Building Surveyor	N/A	
Engineering Services Manager	N/A	
Design Engineer	N/A	
Environmental Engineer	N/A	
Town Planner	N/A	
Assets & Operations Manager	N/A	
NSW RFS	N/A	
Other State Government Agency?	N/A	

Comments/Conditions Imposed: N/A

8 Matters for Consideration under Section 4.15 of the EP&A Act

In determining a development application, a consent authority is required to take into consideration the following matters when considering a development application:

(a) (i) Any environmental planning instrument,

Satisfactory

Berrigan Local Environmental Plan 2013	
Part 2: Permitted and prohibited development	
Zoning	RU5 – Village
Use	N/A
Clause 2.7 - Demolition requires development consent	<p>Under the Berrigan Local Environmental Plan the demolition of a building or work may be carried out only with development consent.</p> <p>Demolition is unable to be carried out under <i>State Environmental Planning Policy (Exempt and Complying Development Codes) 2008</i> as the property is identified in a heritage conservation area. Under Clause 1.19A(1)(a) prohibits complying development under this code for the purposes of demolition. Therefore, a development application is required.</p>
Part 4 Development Standards	
N/A	
Part 5 Misc. provisions	
<i>Clause 5.10 – Heritage conservation</i>	<p>(1) Objectives <i>The objectives of this clause are as follows—</i></p> <p>(a) <i>to conserve the environmental heritage of Berrigan,</i></p> <p>(b) <i>to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,</i></p> <p>(c) <i>to conserve archaeological sites,</i></p> <p>(d) <i>to conserve Aboriginal objects and Aboriginal places of heritage significance.</i></p> <p>The proposed development complies with the objectives of clause 5.10(1) as the development will continue the conservation of environmental heritage of Berrigan Shire. The development will not impact the conservation of any significant or contributory building within the Heritage Conservation Area. A Statement of Heritage Impact has been submitted with the application that confirms that the building subject to demolition contains no significance and does not contribute to the significance of the heritage conservation area to which it is included in.</p> <p>(2) Requirement for consent <i>Development consent is required for any of the following—</i></p> <p>(a) <i>demolishing or moving any of the following or altering the exterior of any of the following</i></p>

	<p><i>(including, in the case of a building, making changes to its detail, fabric, finish or appearance)—</i></p> <p><i>(i) a heritage item,</i></p> <p><i>(ii) an Aboriginal object,</i></p> <p><i>(iii) a building, work, relic or tree within a heritage conservation area,</i></p> <p>The subject application seeks development consent for the demolition of a building that is located within a heritage conservation area.</p> <p>(5) Heritage assessment <i>The consent authority may, before granting consent to any development—</i></p> <p><i>(a) on land on which a heritage item is located, or</i></p> <p><i>(b) on land that is within a heritage conservation area, or</i></p> <p><i>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</i></p> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</i></p> <p>The applicant has provided a Statement of Heritage Impact (SoHI) that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage conservation area concerned.</p> <p>The SoHI confirms that the demolition of the subject building does not impact the significance of any adjacent heritage item or the conservation area to which it is situated. Recommended conditions have been provided by the report and have been included in the draft conditions of consent.</p>
Part 6 Additional Local Provisions	
<p><i>Clause 6.8 – Airspace Operations</i></p>	<p>Matters for Consideration:</p> <p>If a development application is received and the consent authority is satisfied that the proposed development will penetrate the Limitation or Operations Surface, the consent authority must not grant development consent unless it has consulted with the relevant Commonwealth body about the application.</p> <p>Comment:</p> <p>Whilst it is acknowledged that the land is subject to the Obstacle Limitation Surface Map the proposed demolition will have no impact on the OLS limit mapping</p>

<p><i>Clause 6.9 – Development in areas subject to aircraft noise</i></p>	<p>Matters for Consideration: Before determining a development application for development to which this clause applies, the consent authority— (a) must consider whether the development will result in an increase in the number of dwellings or people affected by aircraft noise, and (b) must consider the location of the development in relation to the criteria set out in Table 2.1 (Building Site Acceptability Based on ANEF Zones) in AS 2021–2000, and (c) must be satisfied the development will meet the indoor design sound levels shown in Table 3.3 (Indoor Design Sound Levels for Determination of Aircraft Noise Reduction) in AS 2021–2000.</p> <p>Comment: Whilst it is acknowledged that the subject land is located within proximity to the Tocumwal airport, the land is not located within the 20 ANEF corridor and the proposed development is not relevant to be considered against the ANEF requirements and standards of clause 6.9</p>
<p><i>Clause 6.10 – Essential Services</i></p>	<p>Matters for consideration: Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required— (a) the supply of water, (b) the supply of electricity, (c) the disposal and management of sewage, (d) stormwater drainage or on-site conservation, (e) suitable vehicular access.</p> <p>Comment: The property will have the capacity to retain all essential services as required for any future development of the site.</p>

Murray Regional Environmental Plan No.2 – Riverine Land 1994	
Does this plan apply?	Yes
Planning Principles	
<p>When this Part applies, the following must be taken into account— (a) the aims, objectives and planning principles of this plan, (b) any relevant River Management Plan, (c) any likely effect of the proposed plan or development on adjacent and downstream local government areas,</p>	<p>The demolition complies with the relevant principles of the MREP and is not expected to have an adverse impact on the nearby Murray River due to the large setbacks from this waterway.</p>

(d) the cumulative impact of the proposed development on the River Murray	
Specific Principles	
N/A	

State Environmental Planning Policies

The following State Environmental Planning Policies apply to the subject development.

State Environmental Planning Policy No. 55 (Remediation of Land) 1998	
Trigger Clause	Clause 7
Clause	<p><i>(1) A consent authority must not consent to the carrying out of any development on land unless—</i></p> <p><i>(a) it has considered whether the land is contaminated, and</i></p> <p><i>(b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and</i></p> <p><i>(c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.</i></p>
Objectives	N/A
Compliance/Comment	<p>An initial evaluation has been carried out based on readily available factual information and has been carried out in accordance with Managing Land Contamination Guidelines.</p> <p>The subject site is zoned for residential/commercial uses and is not considered to be contaminated based on any previous use of the land. Therefore, no further consideration is deemed necessary under SEPP55.</p> <p>A condition will be included on the development consent regarding contamination and asbestos in relation to the demolition of the existing building.</p>

State Environmental Planning Policy (Koala Habitat Protection) 2021	
Trigger Clause	Clause 6(1)
Clause	(1) This Policy applies to each local government area listed in Schedule 1.
Aims	To encourage the conservation and management of areas of natural vegetation that provide habitat for koalas to support a permanent free-living population over their present range and reverse the current trend of koala population decline.
Compliance/Comment	Whilst it is acknowledged that the Berrigan Shire Local Government Area is listed within Schedule 1 of this SEPP, the subject land contains no trees or vegetation and will therefore not have an adverse impact on koala populations.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority,

Not Relevant

(iii) any development control plan,

Satisfactory

Berrigan Development Control Plan 2014	
Part 2: Residential Development	N/A
Part 2.1: Neighbourhood character	
Part 2.2: Streetscape	
Part 2.3: Landscaping	
Part 2.4: Private Open Space	
Part 2.5: Building Setbacks	
Part 2.6: Car parking & access	
Part 2.7: Site Facilities	
Part 2.8: Security	
Part 2.9: Privacy	
Part 2.10: Energy Efficiency	
Part 2.11: Outbuildings	
Part 3: Industrial Development	N/A
Part 3.1: Appearance	
Part 3.2: Landscaping	
Part 3.3: Building setbacks	
Part 3.4: Parking & Access	
Part 3.5: Outdoor areas	
Part 3.6: Amenity	
Part 3.7: Signage	
Part 4: Commercial Development	N/A
Part 4.1: Location	
Part 4.2: Appearance & design	
Part 4.3: Landscaping	
Part 4.4: Heritage	
Part 4.5: Signage	
Part 4.6: Parking	
Part 5: Tourist Accommodation	N/A
Part 6: Heritage Items and Conservation Areas	Applies
Part 6.1: Inventory Forms	Council have required and assessment of the heritage impact resulting from the demolition of the building. Consideration of the supporting documentation is given below.
Part 6.2: Verandahs & Awnings	Not applicable to subject application
Part 6.3: No control	N/A
Part 6.4: Building Height	Not applicable to subject application
Part 6.5: Roof forms & pitch	Not applicable to subject application
Part 6.6: Setbacks	Not applicable to subject application
Part 6.7: Materials	Not applicable to subject application
Part 6.8: Fenestration	Not applicable to subject application
Part 6.9: Advertising & Signage	Not applicable to subject application
Part 6.10: Fences	Not applicable to subject application
Part 6.11: Infill development	Not applicable to subject application

Part 7: Subdivision	N/A
Part 7.1: Context	
Part 7.2: Neighbourhood character	
Part 7.3: Staging	
Part 7.4: Movement Network	
Part 7.5: Activity centres & community facilities	
Part 7.6: Public Open Space	
Part 7.7: Landscaping	
Part 7.8: Lot design	
Part 7.9: Infrastructure & services	
Part 7.10: Natural Hazards	
Part 7.11: Site Management	
Part 8: Vegetation	N/A
Part 9: Tocumwal Aerodrome	N/A
Part 10: Watercourses & Riparian Land	N/A
Part 10.1: Visual Amenity	
Part 10.2: Boat ramps	
Part 10.3: Pontoons & walkways	
Part 10.4: Retaining walls	
Part 10.5: Stairs	
Part 10.6: Moorings	
Part 10.7: Liability & Public Safety	
Part 10.8: Landscaping	
Part 10.9: Unauthorised Structures	
Part 11: Flood Prone Land	N/A
Part 11.1: Objectives	
Part 11.2: Decision Guidelines	
Part 11.3: Consultation	
Part 11.4: Flood Planning Area	
Part 11.5: Definitions	

Proposed developments will be considered on their merits in terms of heritage impacts.

In considering development applications within a Conservation Area, Council will make an assessment of the following matters outlined below. A comment is provided in response to each of the relevant decision guidelines.

- *the heritage significance of a heritage Conservation Area and the contribution which any building, work, relic, tree or place affected by the proposed development makes to this heritage significance,*

The proposed demolition of the existing building does not have an heritage significance or provide any contribution to the significance of the area as outlined in the Statement of Heritage Impact.

- *the impact that the proposed development would have on the heritage significance of a heritage Conservation Area,*

The demolition will not have any impact on the heritage significance of the heritage conservation area as confirmed by the Statement of Heritage Impact.

- *the compatibility of any proposed development with nearby original buildings and the character of a heritage Conservation Area, taking into account the size, form, scale, orientation, setbacks, materials and detailing of the proposed development,*

The site will be vacant for the short term, the subject development application does not seek consent for the construction of any works.

- *the measures proposed to conserve the significance of a heritage Conservation Area and its setting,*

The demolition of the subject motel will improve the existing streetscape and strengthen the importance of the existing heritage conservation area and its setting. The current build detracts from the significance of the area and does not contribute any benefit to the Heritage conservation area.

- *whether any landscape or horticultural features would be affected by the proposed development,*

N/A

- *whether any archaeological site or potential archaeological site would be affected by the proposed development,*

N/A

- *the extent to which the carrying out of the proposed development in accordance with the consent would affect any historic subdivision pattern, and*

N/A – subdivision or consolidation of lots is not proposed.

- *the issues raised by any submission received in relation to the proposed development in response to the notification or advertising of the application.*

Submissions are addressed in Section 11 below.

The proposed development is considered to comply with the decision guidelines that support *Part 6 Heritage Items and Conservation Areas of the Berrigan Development Control Plan 2014*.

(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4,

Not Relevant

(iv) any matters prescribed by the regulations,

Satisfactory – Clause 92(1)(b) – Demolition will be required to be carried out in accordance with the provisions of AS2601.

that apply to the land to which the development application relates,

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

Satisfactory

Likely impacts of development have been considered with regard to the proposed demolition of the existing motel. A heritage impact statement has been submitted that supports the demolition of the motel. The overall impact of the development is considered positive.

Statement of Heritage Impact

A Statement of Heritage Impact (SoHI) was submitted with the subject application in accordance with Clause 5.10(5) that requires Council's consideration of heritage impact on the heritage conservation area to which the existing building is located. The SoHI was prepared by Noel Thomson Architecture Pty Ltd.

Noel Thomson has referenced some current photographs for the conditions of the buildings/site and some surrounding buildings in the HCA to assist in the preparation of this SOHI. This Statement of Heritage Impact is based on the formula prescribed in the Heritage NSW (Office manual) and should be read in conjunction with the Statement of Heritage Impact Booklet.

The SoHI addressed the current significance of the buildings in regard to the NSW Heritage Office manuals.

"01: In the case of Demolition

[A] Have all options for retention and adaptive reuse been explored?

The buildings on the sites have specific 'user' requirements (in particular the Motel) and adaptive reuse for the retention of this building has not been explored. The ... Motel have building issues due to their age and state of deterioration and retention/reuse is not a viable option.

[B] Can all of the significant elements of the heritage item be kept, and any new development be located elsewhere on the site?

The sites / buildings are located in the Heritage Conservation Area and have some significance due to their location in the centre of Tocumwal and being in the Mainstreet before the Newell Highway bypass to the west. There are no significant heritage elements on the ... Motel site and new development can not be located on the site without demolition of the current buildings.

[C] Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?

The sites are deteriorated and showing their age, vacant and have no proposed use into the future making adaptive reuse unlikely. The quality of the buildings inhibits any future use and retention of these buildings in their dilapidated state means that demolition is essential at this time.

[D] Has the advice of a heritage consultant been taken? If not, why not?

Noel Thomson is an architect and heritage consultant who has undertaken many impact reports on heritage items around the Riverina and NSW. Noel Thomson Architecture has been approached to consider the impact that this demolition has on the Heritage Conservation Area and on undertaking the assessment considered that there is minor heritage impact from the proposed demolition of buildings at 11 ... Murray St, Tocumwal."

The SOHI has recommended the inclusion of the following conditions of consent.

"With the removal of the buildings and clearing of the sites proposed, NO demolition should occur prior to a 'current' complete measured drawing and photographic record being undertaken for the former "Motel" ...buildings. This should be in accordance with the requirements for 'Archival Recording' (Photographic Recording of Heritage Items Using Film or Digital Capture: 2006 - Heritage NSW) and on completion should be held by Council and the Library Local Studies section."

In summary, the proposed demolition of the motel buildings at 11 Murray St, Tocumwal where the building is not a contributory building in Tocumwal's main street will have an impact in the short-term on the Tocumwal Heritage Conservation Area. However, due to the state of the deteriorated building and that 'adaptive reuse' deemed not to be a viable option that the demolition is deemed appropriate, subject to recommendation for 'Archival Recording' prior to demolition occurring.

(c) the suitability of the site for the development,

Satisfactory

(d) any submissions made in accordance with this Act or the regulations,

Yes – refer to Section 11

(e) the public interest.

Satisfactory

9 Compliance with LEP 2013 / other misc. considerations

Mapping Restrictions		Assessment Detail	
Is the site a heritage listed item or within a heritage conservation area?	Yes	If yes, address Clause 5.10 of LEP 2019 and confirm what level of significance it is? (e.g. local, regional or state).	Comment: Refer to Section 8 above
Is the site affected by land reservation or acquisition? (e.g. road widening, open space, trunk drainage etc)	N/A	If yes, what is the affectation and address Clauses 5.1 and 5.1(a) of LEP 2019.	Comment: N/A
Is the site affected by Flood Planning Map	N/A	If yes, what is the affectation and address Clause 6.2 of BLEP2013	Comment: N/A
Is the site affected by Terrestrial Biodiversity Map	N/A	If yes, what is the affectation and address Clause 6.3 of BLEP2013	Comment: N/A
Is the site affected by Riparian Lands and Waterways Map	N/A	If yes, what is the affectation and address Clause 6.4 of BLEP2013	Comment: N/A
Is the site affected by Wetlands Map	N/A	If yes, what is the affectation and address Clause 6.5 of BLEP2013	Comment: N/A
Is the site affected by Explosive Storage Area Map	N/A	If yes, what is the affectation and address Clause 6.11 of BLEP2013	Comment: N/A

Is the site affected by Obstacle Limitation Surface Map	Yes	If yes, what is the affectation and address Clause 6.8 and 6.9 of BLEP2013	Comment: Refer to Section 8 above
Is the site on the river bed, banks or river front areas of the Murray River	N/A	If yes, what is the affectation and address Clause 6.6 and 6.7 of the BLEP2013	Comment: N/A
Clause 6.10 - Does the site contain essential services?	Yes	(a) the supply of water, (b) the supply of electricity, (c) the disposal and management of sewage, (d) stormwater drainage or on-site conservation, (e) suitable vehicular access.	Comment: Refer to Section 8 above
Clause 6.1 – Earthworks	Yes – however will not require development consent.	If yes, describe extent of earthworks and affectation and address Clause 6.1(3)	Comment: N/A
Bushfire Prone Land	No	BAL/APZ requirements	Comment: N/A

10 Submissions

Submission Issue(s)	Justification for Favorable Determination
One submission	<p>One submission was received in response to the public notification and exhibition period. The submission raised a number of concerns which are outlined below. Each issue has been addressed and responded too.</p> <ul style="list-style-type: none"> - <i>Transparency of Council process</i> <p>The subject Development Application and its subsequent notification and advertisement of the proposed works has been undertaken in accordance with Council's adopted policies and requirements under the <i>Environmental Planning & Assessment Act 1979</i> and <i>Berrigan Local Environmental Plan 2013</i>.</p> <ul style="list-style-type: none"> - <i>Demolition of a valuable community assets without due process is inappropriate</i> <p>In addition to the comments above, the land is classified as operation under the Local Government Act. There are no special restrictions on council powers to manage, develop,</p>

	<p>dispose, or change the nature and use of operational land. The submitter has also provided no evidence to support why the building would be classed as a 'valuable community asset'</p> <ul style="list-style-type: none"> - <i>Time is need to follow an appropriate design development process inclusive of not just the two structures on the recently acquired titles, but also incorporating Barooga Street and the original car park.</i> <p>The Development Application proposes demolition only. Any future development will be subject to separate approvals and any relevant community consultation as required under any relevant legislation or policy.</p> <ul style="list-style-type: none"> - <i>How the integration of the original carpark will happen with the newly acquired land needs to be clarified</i> <p>Not relevant to the subject development application. Also see comment above.</p> <ul style="list-style-type: none"> - <i>OH&S issues need to be solved at the loading dock behind IGA, for public safety as well as for the IGA staff. If this isn't solved as part of the process it could become a greater issue for the IGA and general public</i> <p>Not relevant to the subject development application.</p> <ul style="list-style-type: none"> - <i>Another important element is finding a solution to the lack of public thoroughfare from the proposed development to the main street. (Note: the old Lumley shop is the primary solution to this need</i> <p>Not relevant to the subject development application.</p> <ul style="list-style-type: none"> - <i>Identification of possible locations for future commercial/retail shops. E.g. the two title east of the carpark.</i> <p>Not relevant to the subject development application.</p> <ul style="list-style-type: none"> - <i>Maximisation of existing buildings</i> - <i>Boundary realignment to create two more titles</i> <p>It is unclear what the submitter is trying demonstrate or argue regarding these comments. Therefore, no comment can be made.</p> <ul style="list-style-type: none"> - <i>Sale of these properties for community/Council financial gain</i> <p>The sale of these lots is not being considered by Council. Furthermore, the comment made is not relevant to the subject development application.</p> <ul style="list-style-type: none"> - <i>Tocumwal is in desperate need of more shops not less</i>
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	<p>The proposed demolition does not result in the loss of any retail premises. The existing motel does not create any contribution to the retail vacancies or availability in Tocumwal.</p> <p>Two further points were made by the submitter regarding Council staffing and local government elections. These matters are not relevant to the determination or assessment of any development application and do not require a town planning response.</p>
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11 Conclusion

The Development Application has been assessed against the heads of consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979, Local Environmental Plan 2013 and Development Control Plan 2014 and is considered satisfactory.

Recommended conditions of consent

1. Approval

The subject development is to be carried out in accordance with the conditions of consent. The subject approval allows the demolition of all existing structures on Lot 1-2 DP511822 and Lot 1 DP101725.

2. Uncovering Relics

If any archaeological relics are uncovered during the course of the work then works in that area are to immediately cease and the NSW Heritage Office contacted immediately. The applicant is advised that, depending on the possible significance of the relics, an archaeological assessment and an excavation permit under the Heritage Act, 1977 may be required before any further work can be considered in that area of the site.

3. Heritage Archival Recording

The proponent must prepare a Heritage Archival Recording including photographic recording of the structures identified for demolition under the subject development consent. The Archival recording must be prepared in accordance with *NSW Heritage Office's How to Prepare Archival Records of Heritage Items (1998)* and *Photographic Recording of Heritage Items Using Film or Digital Capture (2006)*.

Within 6 months of completing the archival recording, the proponent must submit the Heritage Archival Recording to Berrigan Shire Council for archiving against the relevant property file.

4. Permitted hours for building work

All building work shall be carried out only between the hours of 7.00am and 6.00pm Monday to Friday inclusive, 8.00am and 5.00pm Saturdays. No work shall be carried out on Sundays and public holidays.

5. Demolition

The demolition shall be conducted and the site maintained in a safe condition during the process of the demolition in accordance with Australian Standard 2601-2001 the Demolition of Structures, Workcover guidelines and the Work Health and Safety Regulation 2011.

6. Waste Material

All material and rubble arising from the demolition works shall be recycled and separated wherever possible. Any waste material must be disposed of in an approved landfill in accordance with EPA guidelines and Berrigan Shire Council requirements.

7. Hours of Operation

The hours of operation for demolition works on the site shall be limited to the daylight hours, between 7.00am and 6.00pm Monday to Friday inclusive, 8.00am and 5.00pm Saturdays. No work shall be carried out on Sundays and Public Holidays without the prior written consent of the Council.

8. Comply with Noise Control Act

Operations on the site must comply with relevant environmental legislation (including Noise Control Act).

9. Disconnection of Services

All water, sewer and stormwater services shall be adequately disconnected from the town reticulation system and sealed so as not to create future damage to the Council's services. A written statement shall be provided by a NSW Licensed Plumber and Drainer to certify the proper disconnection.

10. Road Reserve

Demolition waste, recycled materials or the like is not permitted to be stored on the road reserve. The road reserve is to be kept clean, tidy and in a safe condition while the demolition is being carried out.

11. Compliance with Building Code of Australia

All building work must be carried out in accordance with the provisions of the Building Code of Australia

12. Excavations and backfilling

- (a) All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
- (b) All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.

13. Retaining walls and drainage

If the soil conditions require it:

- (a) retaining walls associated with the erection of a building or other approved methods of preventing movement of the soil must be provided, and
- (b) adequate provision must be made for drainage.

14. Support for neighbouring buildings

a. If an excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made:

- (i) must preserve and protect the building from damage, and
- (ii) if necessary, must underpin and support the building in an approved manner, and
- (iii) must, at least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

b. The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this clause, whether carried out on the allotment of land being excavated or on the adjoining allotment of land

15. Protection of public places

a. If the work involved in the erection or demolition of a building:

- (i) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- (ii) building involves the enclosure of a public place,

a hoarding or fence must be erected between the work site and the public place.

b. If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.

c. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.

d. Any such hoarding, fence or awning is to be removed when the work has been completed.

16. Signs to be erected on building & demolition site

- a. A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
- (i) stating that unauthorised entry to the work site is prohibited, and
 - (ii) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
- b. Any such sign is to be removed when the work has been completed. (Clause 78H of Regulation).

17. Toilet facilities

- a. Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- b. Each toilet provided:
- (i) must be a standard flushing toilet, and
 - (ii) must be connected:
 - to a public sewer, or
 - if connection to a public sewer is not practicable, to an accredited sewage management facility approved by the Council, or
 - if connection to a public sewer or an accredited sewage management facility is not practicable, to some other sewage management facility approved by the Council.
- c. The provision of toilet facilities in accordance with this clause must be completed before any other work is commenced.

18. Asbestos Material

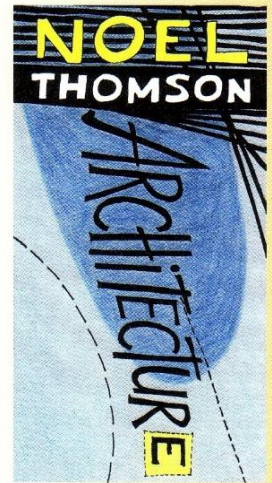
Work involving the removal of more than ten (10) square metres of asbestos containing material must be undertaken by a NSW licensed contractor as required by the NSW Work Health and Safety Regulations 2011.

Prior to commencement of any work, the Principal Certifying Authority must be provided with:

Written notice is to include the following details:

- a) a copy of a signed contract with a person licensed to remove asbestos,
- b) the contract must specify the landfill site to which the asbestos containing material is to be delivered.

STATEMENT OF HERITAGE IMPACT FOR DEMOLITION OF BUILDINGS AT 11 & 15 MURRAY ST, TOCUMWAL



Noel Thomson
Architecture

PO Box 5090
Wagga Wagga
NSW 2650

Phone (02) 6926 3320
Fax (02) 6926 6011



CLIENT:
BERRIGAN SHIRE COUNCIL
56 CHANTER STREET
BERRIGAN NSW 2712

ARCHITECT & HERITAGE CONSULTANT:
NOEL THOMSON ARCHITECTURE PTY LTD
20 CHURCHILL AVE, (PO BOX 5090)
WAGGA WAGGA NSW 2650

MAY 2021

RECORD OF AMMENDMENTS

DATE	ISSUE	COMMENTS	AUTHORISED
7.6.2021	A	FOR APPROVAL	NT

Noel Thomson
Architecture
Pty Ltd
Nominated Architect:
Noel Thomson 5869
ACN 077 973 623
ABN 82 077 973 623

1. STATEMENT OF HERITAGE IMPACT FOR

Proposed demolition of buildings at 11 and 15 Murray Street, Tocumwal

2. INTRODUCTION AND BACKGROUND

01: Proposed demolition of buildings

The proposal is for the demolition of two buildings – the former ‘Tocumwal Motel’ at 11 Murray Street and the former ‘Hardware’ building at 15 Murray Street, Tocumwal.

02: Date:

Report: 7 June 2021

03: Reference:

(Refer Appendix 1)

The subject sites at 11 and 15 Murray Street are known as “Motel” and “Hardware Store” respectively and are not heritage listed items but they do however form part of the Heritage Conservation Area as per the Berrigan Shire Local Environmental Plan 2013 - Schedule 5 Environmental Heritage,

04: Address and Property Description:

Primary Address: 11 & 15 Murray St, Wagga Wagga
 Secondary Address: Lot 1, 2 & 11 DP 511822 and Lot 1 DP 101725
 Parish: Tocumwal
 County: Denison
 Local Government Area: Berrigan

05: Prepared by:

Noel Thomson Architecture Pty Ltd - Architect and Heritage Consultant
 20 Churchill Avenue (PO Box 5090) WAGGA WAGGA NSW 2650
 Telephone: (02) 6926 3320 Facsimile: (02) 6926 6011
 Email: noel@noelthomsonarchitecture.com.au

06: Statement Prepared for:

Berrigan Shire Council
 56 Chanter Street BERRIGAN NSW 2712
 Telephone: (03) 5888 5100
 Email: mail@berriganhire.nsw.gov.au



Fig 1: SixMaps: Aerial view of Tocumwal mainstreet showing location of buildings at 11 & 15 Murray St, Tocumwal

07: Background to this Statement:**[A] Introduction**

This Statement of Heritage Impact (SOHI) has been prepared for Berrigan Shire Council following an invitation to Noel Thomson Architecture to undertake heritage services for the proposed demolition of buildings at 11 and 15 Murray Street, Tocumwal

Noel Thomson has referenced some current photographs for the conditions of the buildings/site and some surrounding buildings in the HCA to assist in the preparation of this SOHI.

This Statement of Heritage Impact is based on the formula prescribed in the Heritage NSW (Office manual) and should be read in conjunction with the Statement of Heritage Impact Booklet

[B] Historical Background

Tocumwal is located on the Murray River within the Southern Riverina region of New South Wales. The first pastoral runs were established in the 1840s and the Tocumwal Post Office was built in 1868. With reference to Peter Finn's Tocumwal Conservation Study (1990), the village was officially recognised on the 18th July 1862 – the same year a punt was established, although there had been a regular crossing point over the Murray River near where the town is now since the 1850's.

In 1891, the Tocumwal Hotel was built, and in 1893 the Court house and Police Quarters were built. Prior to Federation, Tocumwal was an important custom point for goods crossing between the colonies of Victoria and New South Wales. In addition to the punt charges, tax on horses, cattle and sheep had to be paid. In 1895, the Tocumwal Bridge opened, which with reference to the Conservation Study, had an estimated cost of 19,000 pounds. The new bridge replaced the punt and was again modified in 1908 for stock trains to cross the River into Victoria. In 1898, the standard gauge NSW Railways main southern railway line was extended from Junee to Tocumwal, through Narrandera.

Following the bombing of Darwin in 1942, the United States and Australia made plans for Australian inland defence. Tocumwal, being right on the Brisbane Line, was selected for a heavy bomber base for the United States Army Air Corps. In just 16 weeks, after expenditure of A\$6 million, they built, in Tocumwal, the largest aerodrome in the southern hemisphere. American forces moved to Tocumwal, however, as the situation in the Pacific improved, they moved north to Queensland. The aerodrome then became the RAAF Station Headquarters for training Liberator bomber aircrews. In December 1944, there were 5,500 men on the base. It remained an aircraft depot until the 1960's.

Tocumwal gained importance both as a border customs depot (these being pre-Federation days) and as a centre for the shipment of produce from the Riverina. The land was mainly utilised for pastoral purposes until 1890 but the soil proved ideal for cereals and agriculture. A bridge replaced the punt in 1895 and the railway, which arrived in 1908, being connected to the NSW rail system in 1914. These developments caused the population to increase from 350 in 1880 to 1000 in 1914.

Due to its riverside situation the town had, by the 1890's, already become popular with those seeking to get away from Melbourne and the Shepparton area. Aside from tourism, wheat, dairy products, barley, rice, wool, cattle, pigs and citrus fruits all contribute to the local economy.

3. HERITAGE SIGNIFICANCE**3.1 General and Heritage Conservation Area**

Tocumwal has a small Heritage Precinct, along with the Railway Museum, the Silos (now disused), the Terminus Hotel and one of the original town shops, all within close walking distance of each other at the western side of the town. The Berrigan Shire Council established the Tocumwal Heritage Conservation Area around the mainstreet (Deniliquin Rd / Deniliquin St) area where many businesses, hotels, shops, banks, post office, etc were established in the late 19th century. The Hardware Store and Motel at 11 & 15 Murray St, Tocumwal are located within the Heritage Conservation Area.

Statement of Significance:

The streetscapes and setting of Tocumwal Conservation Area is centred around Deniliquin Road and Deniliquin Streets and includes a group of late 19th and early 20th Century buildings. The town having established in the mid-1860's became a regular crossing point of the Murray River and part of the earlier town settlement forms the Heritage Conservation Area.

The township became an important custom point for goods crossing between the colonies of Victoria and New South Wales on the establishment of the railway crossing in the late 19th Century and until Federation.

Tocumwal echoes the settlement of early Australian villages/towns along the Murray River in southern NSW. The intactness of the buildings and original architecture documents a township in boom during the late 19th Century and slower population growth from the 1930's, thus ensuring preservation of the streetscape.

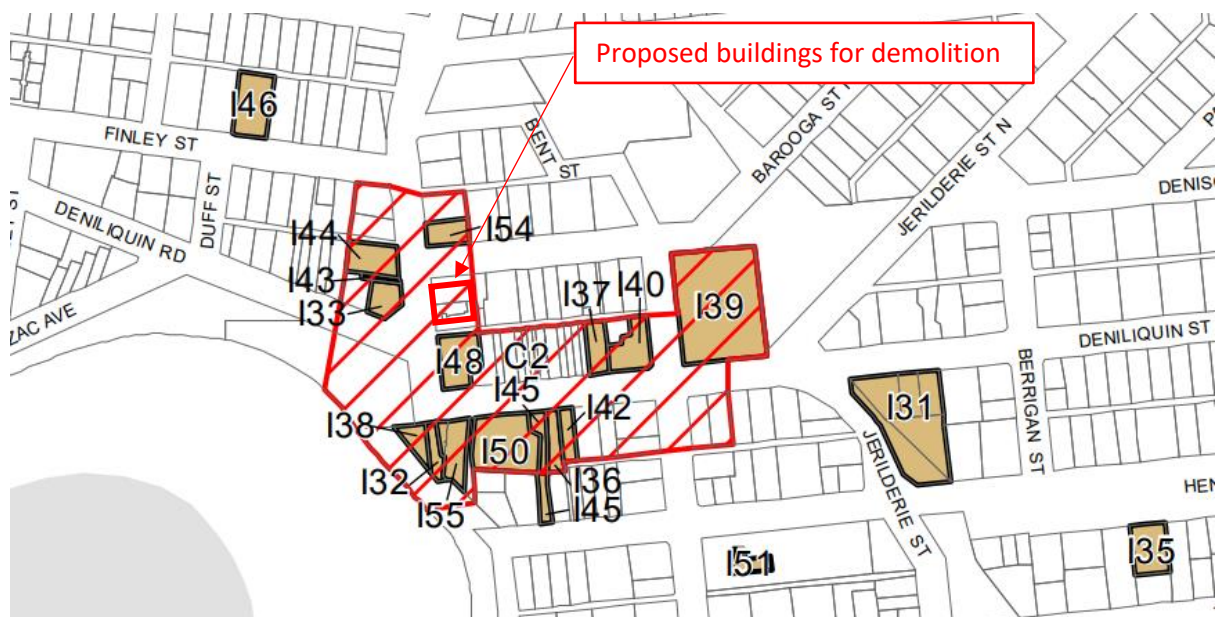


Fig 2: Berrigan Shire LEP - Extract from Heritage Map showing Tocumwal Heritage Conservation Area (hatched)

3.2 Current Buildings Significance

The 'Hardware' Building, most recently known as Brown Corke 'True Value' Hardware at 15 Murray St, Tocumwal appears to be constructed in the 1920s and was occupied by Brown Corke and Co timber merchants for many years until its recent closure. Brown Corke and Co were established in Victoria in the 1880's and by 1897 operated stores in Numurkah, Waaia, Nathalia, Strathmerton and Picola. The rear concrete block shed to the rear of the site was constructed c1960 and has movement issues.



Fig 3: Views of Hardware store from Deniliquin Rd

The 'Tocumwal Motel' at 11 Murray St, Tocumwal appears to have been constructed in the 1960s and operated for nearly 60 years until it's recent closure. The Motel consisted of 10 rooms with ensuite bathrooms located on the ground floor with a 2 storey managers residence to the front block facing Murray St above the reception. The motel also had associated car parking, BBQ / entertainment area and swimming pool.



View of the Motel from Murray St



View on one of the standard rooms at the Motel



View of the Carpark

Fig 4: Views of Motel when occupied



View of Pool at the Motel

4. BERRIGAN LEP & DCP REQUIREMENTS / CONSIDERATIONS

01: Berrigan Shire Local Environmental Plan – 2013

With reference to the Berrigan Shire Local Environmental Plan 2013, the following clauses are noted;

(1) Objectives

The objectives of this clause are as follows -

- (a) to conserve the environmental heritage of Berrigan,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

(2) Requirement for consent

Development consent is required for any of the following -

- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance) -*
 - (i) a heritage item,*
 - (ii) an Aboriginal object,*
 - (iii) a building, work, relic or tree within a heritage conservation area,*

- (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,
- (e) erecting a building on land -
- (i) on which a heritage item is located or that is within a heritage conservation area,

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development -

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

Noel Thomson Architecture has prepared this Statement of Heritage Impact for the proposed demolition of two buildings within the Tocumwal Heritage Conservation Area to address the requirements of the Berrigan Shire LEP Clause 5.10 (4) & (5)

02: Berrigan Shire Developmental Control Plan – 2014

The Heritage Section 6 and clauses in the Berrigan Shire Developmental Control Plan 2014 states:

6: Heritage Items and Conservation Areas

OBJECTIVES

The objectives of the controls are:

- to set out matters which Council will consider in determining development applications that might affect the environmental heritage of a Conservation Area;
- to provide development guidelines to assist applicants in addressing the particular considerations for a Conservation Area;
- to detail specific considerations in relation to a Conservation Area;
- to provide residents, landowners and developers with a document which details Council's policies on building and associated development; and
- to protect and enhance the character of the towns and, in particular, that of a Conservation Area.

DECISION GUIDELINES

Proposed developments will be considered on their merits in terms of heritage impacts. In considering development applications within a Conservation Area, Council will make an assessment of:

- the heritage significance of a heritage Conservation Area and the contribution which any building, work, relic, tree or place affected by the proposed development makes to this heritage significance,
- the impact that the proposed development would have on the heritage significance of a heritage Conservation Area,
- the compatibility of any proposed development with nearby original buildings and the character of a heritage Conservation Area, taking into account the size, form, scale, orientation, setbacks, materials and detailing of the proposed development,
- the measures proposed to conserve the significance of a heritage Conservation Area and its setting,
- the extent to which the carrying out of the proposed development in accordance with the consent would affect any historic subdivision pattern, and

Noel Thomson Architecture has prepared this Statement of Heritage Impact for the proposed demolition of buildings in Murray St, Tocumwal to address the requirements of the with Berrigan Shire DCP 2014 Section 6.

5. EXISTING CONDITIONS OF THE BUILDINGS

01: Motel Building

(for photographs of buildings refer Appendix 2)

The Motel building constructed c1960 consists of a two-storey reception and managers residence facing Murray Street with 10 single storey accommodation units + ensuite bathrooms to north and east boundaries. Carparking is located in front of the rooms and the BBQ/Entertainment Area + Swimming Pool is located to the south boundary. The Motel is now vacant since its closure in 2020 and is in a deteriorated state having been constructed 60 years ago.

02: Hardware Building

The Hardware Building consists of a main large open 'retail' area single storey timber framed building having been constructed c1920 facing Murray Street and a later c1960 constructed concrete block building added to the north boundary facing Barooga St. The buildings are now vacant and showing their age with movement cracking and rotten timber affecting the building structures.

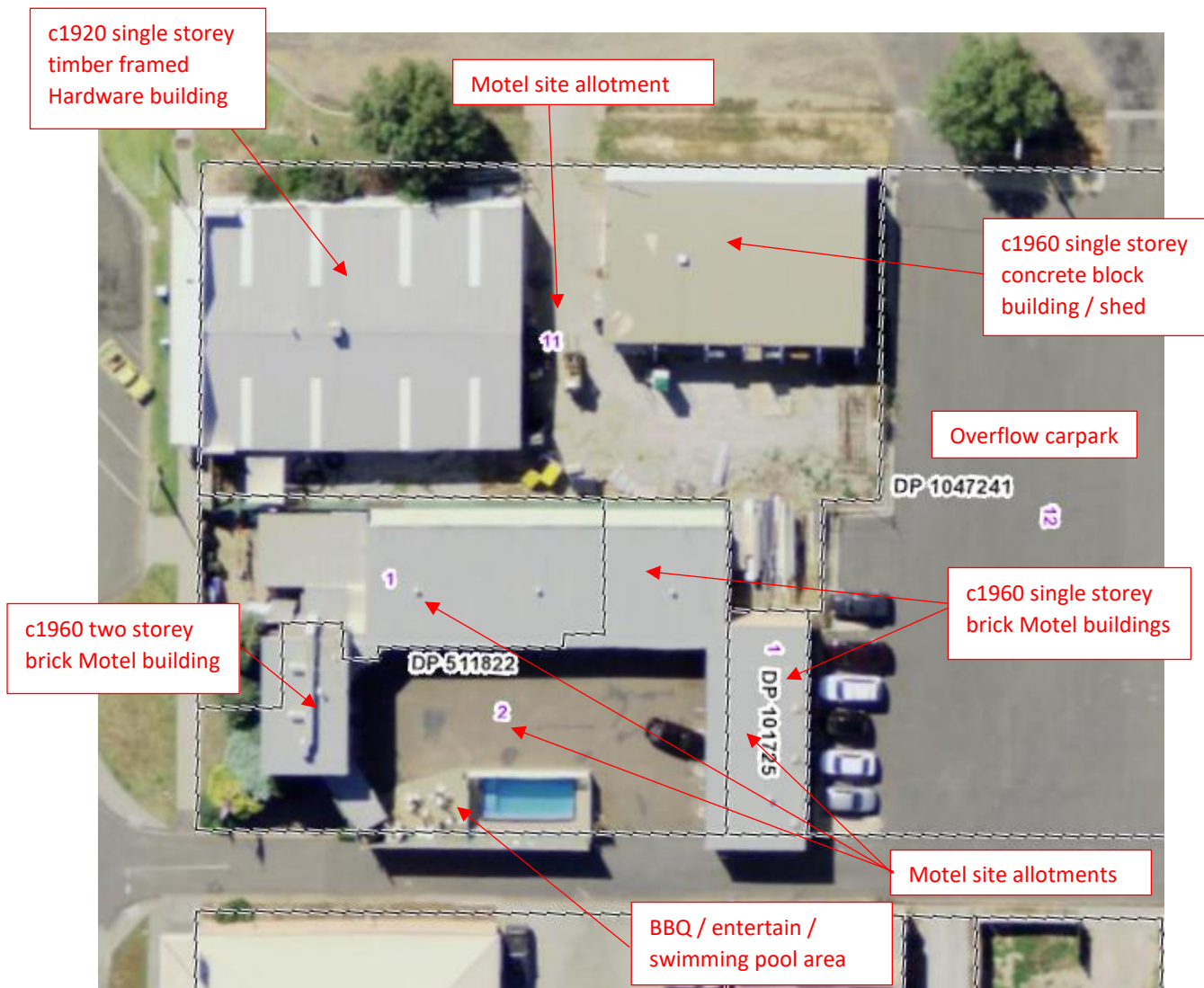


Fig 5: SixMaps aerial views of 'Hardware' & 'Motel' and site lots / boundaries

6. ASSESSMENT OF IMPACT ON HERITAGE SIGNIFICANCE OF THE ITEM / CONSERVATION AREA

01: In the case of Demolition

[A] Have all options for retention and adaptive reuse been explored?

The buildings on the sites have specific 'user' requirements (in particular the Motel) and adaptive reuse for the retention of this building has not been explored. The Hardware main building and the Motel have building issues due to their age and state of deterioration and retention/reuse is not a viable option.

[B] Can all of the significant elements of the heritage item be kept, and any new development be located elsewhere on the site?

The sites / buildings are located in the Heritage Conservation Area and have some significance due to their location in the centre of Tocumwal and being in the Mainstreet before the Newell Highway bypass to the west. There are no significant heritage elements on the Hardware or Motel sites and new development can not be located on the site without demolition of the current buildings.

[C] Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?

The buildings on both the former 'Hardware' and 'Motel' sites are deteriorated and showing their age, vacant and have no proposed use into the future making adaptive reuse unlikely. The quality of the buildings inhibits any future use and retention of these buildings in their dilapidated state means that demolition is essential at this time.

[D] Has the advice of a heritage consultant been taken? If not, why not?

Noel Thomson is an architect and heritage consultant who has undertaken many impact reports on heritage items around the Riverina and NSW. Noel Thomson Architecture has been approached to consider the impact that this demolition has on the Heritage Conservation Area and on undertaking the assessment considered that there is minor heritage impact from the proposed demolition of buildings at 11 & 15 Murray St, Tocumwal.

7. THE FOLLOWING ASPECTS OF THE PROPOSAL COULD DETRIMENTALLY IMPACT ON THE HERITAGE SIGNIFICANCE OF THE CONSERVATION AREA

01: Impact of Demolition of mainstreet buildings (for Tocumwal Town Concept Plan refer Appendix 3)

The demolition of the single storey former 'Hardware' building and the 2 storey former 'Tocumwal Motel' reception/managers residence and single storey accommodation units in the Heritage Conservation Area will have an impact, however they are not key buildings that form part of the early development of Tocumwal.

These Buildings, although forming a streetscape with the verandahed single storey former 'Hardware' and 2 storey 'Motel' construction to the Murray St boundaries are of a later period and not in keeping with the older 'heritage buildings' (former Bank opposite and Hotel adjacent) in the vicinity.

The impact of the demolition of these former 'Hardware' and 'Motel' buildings at 11 & 15 Murray St, Tocumwal is that in the short-term there will be vacant allotments and therefore a negative incision in the streetscape, with no 'built' presence until future development occurs.

The views from the intersection of Barooga and Murray St looking south towards the river, open space and new cultural building is deemed as being a "significant sightline" in the Tocumwal Town Concept Plan (2015), so the even though the former 'Hardware' and 'Motel' buildings are not key contributory buildings their demolition will impact the "significant sightline" and Heritage Conservation Area

8. CONCLUSION

The concerns that have been highlighted by this Statement of Heritage Impact (SOHI) is the effect that demolition of the former 'Hardware' & 'Motel' buildings will have on the Tocumwal Heritage Conservation Area, as per Part 2 Conservation Areas - Schedule 5 Environmental Heritage of Berrigan Shire Local Environmental Plan 2013.

After deliberation and review of the limited historical information, the conditions of the buildings, this SOHI addresses the issues of the impact that the proposed demolition will have on the Heritage Conservation Area. The main issue which impacts on the Heritage Conservation Area is the demolition 'of built form' on these sites which then will be vacant / undeveloped and form a hole / negative incision

into the heritage conservation area and to the town's character. Hopefully the vacancy of these blocks will be in the short-term before these important sites are redeveloped.

An issue for the proposed demolition of the buildings is their recording, if demolition is to be allowed, the following requirements / conditions of consent shall be considered;

- With the removal of the buildings and clearing of the sites proposed, NO demolition should occur prior to a 'current' complete measured drawing and photographic record being undertaken for the former "Motel" and "Hardware" buildings. This should be in accordance with the requirements for 'Archival Recording' (*Photographic Recording of Heritage Items Using Film or Digital Capture: 2006* - Heritage NSW) and on completion should be held by Council and the Library Local Studies section.

In summary, the proposed demolition of the "Motel" and "Hardware" buildings at 11 & 15 St, Tocumwal where the buildings are not contributory buildings in Tocumwal's mainstreet will have an impact in the short-term on the Tocumwal Heritage Conservation Area. However, due to the state of the deteriorated buildings and that 'adaptive reuse' deemed not to be a viable option that the demolition is deemed appropriate, subject to recommendation for 'Archival Recording' prior to demolition occurring.

9. REFERENCES

Berrigan Local Environmental Plan - 2013 and the Berrigan Development Control Plan - 2014

Berrigan Shire Council and Heritage NSW websites

Berrigan Shire Council – Tocumwal Town Concept Plan – Thomson Hay Landscape Architects (2015)

10. APPENDICIES

Appendix 1: Heritage Conservation Area Maps

Appendix 2: Current Site and Location Photographs

Appendix 3: Tocumwal Town Concept Plan



NOEL THOMSON FRAIA
Architect & Heritage Consultant
Noel Thomson Architecture Pty Ltd

June 2021

APPENDIX 1: HERITAGE CONSERVATION AREA MAPS



Berrigan LEP – Heritage Map showing Heritage Conservation Area & Heritage Items



SIX Maps – Tocumwal and Heritage Conservation Area

APPENDIX 2: CURRENT SITE AND LOCATION PHOTOGRAPHS

Motel Building



Photo 1: West view of Murray street 2 storey façade



Photo 2: SW view of Murray street 2 storey façade



Photo 3: NW view of Murray street 2 storey façade



Photo 4: View of reception & 2 storey façade



Photo 5: View of entry from Murray St



Photo 6: View of lane and fencing from entry



Photo 7: View of typical Motel room

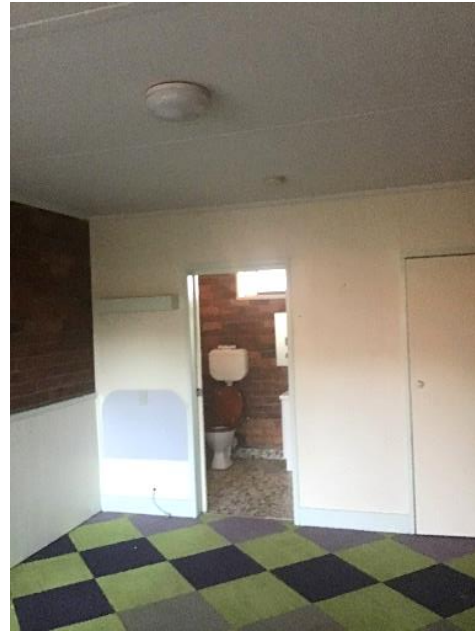


Photo 8: View of typical Motel room



Photo 9: View of typical Motel bathroom



Photo 10: View of typical Motel bathroom

Hardware Building



Photo 11: SW view of Murray St and south façade



Photo 12: West view of Murray St facade



Photo 13: View of Murray St west façade & verandah



Photo 14: View of part north facade



Photo 15: View of part north façade (rear)



Photo 16: View of later rear building north facade



Photo 17: View of later rear building north facade

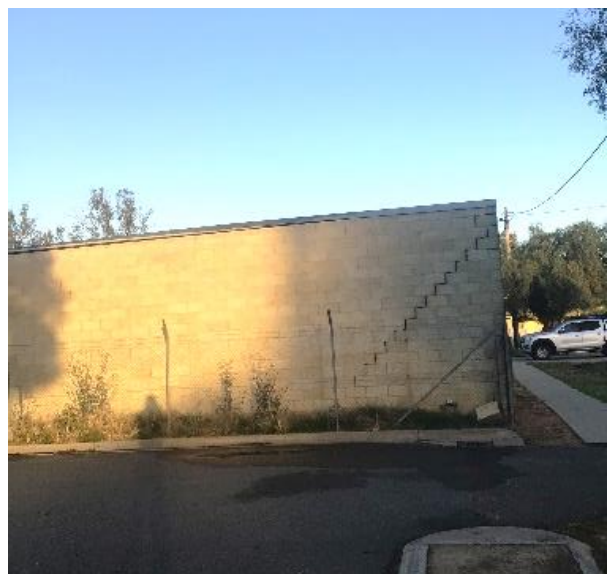


Photo 18: East view of later rear building facade



Photo 19: East view of later rear building façade



Photo 20: East view of hardware & motel building facades



Photo 21: SW view of later rear building façades



Photo 22: South view of later rear building façade



Photo 23: Internal view of later rear building



Photo 24: View of yard and north wall of motel facade



Tree Assessment Health/Condition Report

**Cnr of Deniliquin Street and Jerilderie Street North
Tocumwal, NSW 2714**

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1. Introduction

Michelle Koopman of Berrigan Shire Council has recently engaged Murray River Tree Services to provide a health/condition report on two trees situated on Council land within the subject site. The client has requested the report in regards to concerns of signs of declining tree health and what appears to be fungal growth on the stem of the tree. The subject trees are of high significance and are an asset to the landscape, so any potential works to manage the trees must be justified.

This report contains details on the subject tree's relevant dimensions, tree health/structure and information regarding future management of the subject tree's.

2. Key Objectives

- Identify and record the relevant dimensions of the subject tree.
- Provide assessment data on relevant details of the subject tree.
- Provide information in relation to any potential site and tree hazards.
- Provide recommendations to effectively manage or retain the tree.

3. Methodology

3.1. Site Inspection

At 11.00 AM on Thursday 20th May, Jacob Hore conducted a ground site and aerial inspection on the subject trees. Observations and photographs were recorded during the inspection with the use of measuring tapes to record DBH. Tree height and crown spread were estimated. Tree health and structure were assessed using a ground – based and aerial assessment. Aerial assessment was completed with an EWP. A phone camera was used to take photos of the trees and surrounding area. All information in this report is from the time of assessment.

3.2. Tree Assessment Data

Data Collected for the subject tree/s included:

- Botanical and Common Name
- Status
- Diameter at Breast Height (DBH)
- Height and Canopy Spread
- Maturity
- Health
- Structure
- Useful Life Expectancy (ULE)
- Landscape Contribution
- Individual Significance
- Retention Value

3.3. Site Map



Figure 1: Aerial map of site.

4. Tree Assessments

Tree #	1
Botanical Name	Eucalyptus Camaldulensis
Common Name	River Red Gum
Status	Native
DBH (m)	1.77
Height (m)	30
Spread (m)	20
Maturity	Mature
Health	Moderate
Structure	Moderate
Retention Value	Remove
ULE (years)	<5
Significance	Valuable
Landscape Contribution	High
TPZ (m)	21.2
Comments:	X2 Fungal Fruiting bodies on trunk. Various large cavities. Significant previous failures in upper canopy. Previous pruning over road and lower limbs. Beehive in lower trunk cavity. Some deadwood. Potentially in decline.

Table 1: Tree #1 Assessment details



Figure 2: Tree 1

Tree #	2
Botanical Name	Eucalyptus Camaldulensis
Common Name	River Red Gum
Status	Native
DBH (m)	1.17
Height (m)	27
Spread (m)	15
Maturity	Mature
Health	Moderate
Structure	Moderate
Retention Value	Retain
ULE (years)	5 - 15
Significance	Valuable
Landscape Contribution	High
TPZ (m)	13.98
Comments:	Some deadwood. Previous pruning lower limbs. Small amount epicormic growth. Previous failure. Old impact wound at base of trunk.

Table 2: Tree #2 Assessment details



Figure 3: Tree 2

5. Observations/Discussions

5.1. Site Details

The subject trees are located on Council land inside the intersection of Deniliquin Street and Jerilderie Street North, Tocumwal (Figure 1). The trees are adjacent to property 82 Deniliquin Street, Tocumwal. Deniliquin Street is the main street leading into/out of Tocumwal, so caters for a high volume of traffic every day. Jerilderie Street North provides access to the northern side of town and is not as busy. Tree #1 has significant over-hang across Jerilderie Street North. The trees are located on the Council nature strip, there are no dedicated footpaths on the site, but there appears to be a small amount of pedestrian traffic underneath and beside the trees.

5.1.1. Site Hazards

The subject site presents a number of potential hazards. Due to the height of the trees (approx. 30m), if failure were to occur there is potential for contact with the adjacent property (82 Deniliquin Street). Tree #1 also has significant over hang over Jerilderie Street North. Jerilderie Street North is frequently used by motor vehicles. There is no dedicated walking path adjacent to the trees, but being so close to town there may be a small amount of pedestrian traffic within the site.



Figure 4: Tree #1 adjacent to Jerilderie Street North

5.2. Tree Details

Only the subject trees were assessed at the Deniliquin & Jerilderie Street North site. The trees were assessed on their relevant health, structure, individual significance, landscape contribution and then given a retention rating. Tree #1 was assessed as 'Remove'. The tree is a large, mature specimen, displaying signs of 'moderate' health and 'moderate' structure. Tree #2 was assessed as 'Retain'. The tree is a large, mature specimen, displaying signs of 'moderate' health and 'moderate' structure.

5.3. Tree Health

Tree's #1 and #2 were both assessed as displaying 'moderate' health.

5.3.1. Deadwood

The subject trees are displaying signs of moderate vigor, there is also a moderate amount of deadwood throughout the crown (Figure 5 & 6). Deadwood can be quite common in most trees, although usually on a small scale. Deadwood is easily identified within a tree, but it can be difficult to determine when it may fail. Deadwood has a high probability of failure and becomes a greater risk to persons or property. Dead trees or branches can fail at any time, depending on species, size, weight and resistance to decay. "It is difficult to determine from a ground survey when dead branches become decayed enough to fail. Therefore, in areas with targets, dead trees, dead branches, and broken branches should be removed soon after discovery". (Harris, Clark, & Mathney. 2004, p. 415)



Figure 6: Deadwood in tree #2



Figure 5: Deadwood in tree #1

5.3.2. Fungal Fruiting Bodies

Tree #1 exhibits x 2 Fungal Fruiting Bodies (Figure 8). Fungal Fruiting bodies are often found at the site of old tree wounds and exhibit distinctive shelf like fruiting structures (Figure 7), brackets or conks. These wood decaying fungi break down components of the wood and can lead to reduced tree strength. The amount of decayed wood can vary, but unless confined by compartmentalization, decay fungi can invade heartwood for significant vertical distances. “The presence of several conks along a stem may indicate extensive decay (Mathney, Clark. 1994, p. 22)”. Due to causing compromised tree strength, infected trees can have a high chance of potential failure. Usually the only way to diagnose decay fungi is the presence of external brackets or fruiting bodies.



Figure 8: Fungal fruiting bodies in tree #1



Figure 7: Fungal fruiting body in old wound/cavity

5.3.3. Decay

Wood decay involves the process of wood deterioration by means of fungal and bacterial infection, usually through fresh wounds. This can significantly compromise a trees structural integrity, due to the loss of sound wood. “Decay is caused by a succession of fungi and bacteria that digest cell wall components. Wounds provide an entrance for the microorganisms. Wood present at the time of wounding is subject to decay, although it may not develop, or may be limited.” (Mathney, Clark. 1994, p. 19). Decay can be identified by a number of indicators, such as wounds, cavities, dead and broken branches, fruiting bodies, cankers, bleeding and stem bulge or swelling. The spread of decay throughout trees can vary, depending on tree species, size, age, health and the ability to compartmentalize. “Decay progresses more rapidly in old, declining trees than in young, vigorous trees.” (Mathney, Clark. 1994, p. 20).

5.3.4. Compartmentalisation

Compartmentalisation of decay in trees (CODIT) is effectively a trees defense system against injury and disease. Physical and chemical barriers are formed to help stop the spread of disease, “In this concept, the tree actively forms barriers, or compartments, around areas of wounding and injury” (Harris, Clark, & Mathney, N.P. 2004, p. 34) Different trees have varying abilities to undertake this process. Trees that cannot build an effective defense system will decay more rapidly. “Variation in this response occurs within and between species. Tree vigor will also influence the ability to compartmentalize wounds.” (Mathney, Clark. 1994, p. 10).

5.3.5. Branch Failure

The subject trees both display signs of previous branch failure. Tree #1 exhibits many previous failures in the upper canopy (Figure 10). In most cases, branch failure is due to either structural defects within the tree or its root system, severe weather events or a combination of the both. Defects can include things such as weak branch attachment, decay, branch end weight, lean, dead branches, cavities or crown decline. Branch failure becomes a hazard when the safety of a target is at risk. “A tree is considered to be hazardous if it is structurally unsound and there is a target that would be injured or damaged if the tree failed” (Harris, Clark, & Mathney, N.P. 2004, p. 432)



Figure 10: Upper canopy tree #1 exhibits previous failures



Figure 9: Previous failure tree #2

5.3.6. Limb removals/pruning

Both trees exhibit previous pruning cuts (Figure 11 & 12). Great care should be taken when pruning mature trees, if done incorrectly it can have adverse effects on the tree. Only defective branches should be considered for pruning in mature trees. “Remove dead and dying branches first, then remove branches that have weak unions or branches that are rubbing/crossing another branch. Do not tip prune living branches and leave dead, dying and defective branches” (Shigo, 1989, p. 119). Removing too much foliage and live tissue from a mature tree can compromise its ability to survive. “Leaves must provide food for all the living cells in the branch wood, trunk, and roots. Watch trees after you prune. If many sprouts form, too much living tissue was removed” (Shigo, 1989, p. 119).



Figure 11: Previous pruning cuts tree #2



Figure 12: Previous pruning cuts tree #1

5.4. Tree Structure

Trees #1 and #2 were both assessed as displaying ‘moderate’ structure.

5.4.1. Cavities

Tree #1 exhibits a number of cavities (Figure 13 & 14). Cavities are hollows, holes or openings, usually in the stem or branches of a tree. Cavities may be present in a tree as a result of decay from a previous injury. Previous injuries may include mechanical damage, poor pruning, previous branch failure or wildlife damage. Over the years, there have been many different treatments used for cavities, such as filling them with concrete, cleaning them out and draining moisture. It has since been discovered leaving them alone is the best option “Most arborists agree that filling a cavity, whether with concrete, asphalt, or foam, is of little or no value in promoting the health and longevity of a tree”. (Harris et al, 2004, p. 454). To determine the structural impact on a tree, the

cavity must be assessed to determine the extent of decay present, the amount of sound wood present and the position of the cavity in the tree. If there is significant loss of sound wood, the tree may be deemed to unsafe for retention. "When deciding whether and how to treat a cavity, consider the importance of the tree; its species, age, and condition; and the size and location of the cavity". (Harris et al, 2004, p. 454). The best way to treat a cavity is to improve tree health. "A tree with a cavity will be best served if you do everything possible to improve tree vigor so that new wood and bark grow faster than decay advances". (Harris et al, 2004, p. 454).



Figure 14: Branch cavity tree #1



Figure 13: Cavity tree #1

5.5. Hazard Assessment

A hazard is anything with the potential to cause injury or damage to persons or property (target). The aim of assessing trees for potential hazards is to protect the safety of a target by removing or reducing the hazard. Both the hazard and the target need to be assessed to determine the danger. Hazards can include things such as unusual storm events, weak branch attachment, decay, heavy end weight and poor taper of trunks and branches, lean, dead branches, poor structure and crown decline. When assessing a tree for hazards, different aspects of the tree must be examined, this includes overall vigor, health, inspections of roots, root collar, trunk, scaffold limbs, and branches.

5.5.1. Target Assessment

Anything of value that has the potential to be damaged/injured by a failed tree is considered a target. This usually consists of persons or property. The main factors to consider when assessing a potential target is; its use and how frequently it is used. The potential for damage increases as the frequency of use increases. Targets can include things such as parking, buildings, recreation areas and other various structures. Targets with human occupancy have a higher rating than targets not

used by humans. Targets can sometimes be mobile or stationary, for example a picnic table can be moved, which eliminates the hazard.

5.6. Hazard Ratings

Each individual tree has been assigned a “Hazard Rating” (Figure 4). The hazard presented by each tree has been assessed as one of the following:

- Very Low
- Low
- Moderate
- High
- Very High

These hazard ratings are determined by the “Hazard Score” of the individual tree. The hazard score also determines the timeframe and priority of works, as summarised in the table below (Table 3).

Table 3: Hazard Rating Calculation		
Hazard Score	Hazard Rating	Timeframe For Works
76-100	Very High	The hazardous area should be immediately isolated from public use. Recommended works should be completed as soon as possible.
51-75	High	Recommended works should be completed within 3 months.
26-50	Moderate	Recommended works should be completed within 12 months.
11-25	Low	Recommended works should be completed within 3 years.
0-10	Very Low	Recommended works should be reassessed within 3 years.

Table 3

Due to a lack of published hazard rating systems considered effective for this site, this hazard rating method has been specifically designed to provide an effective system to prioritise tree works at the site. It has been customised from several other published and commonly used hazard rating systems. These include Matheny & Clark (1994) and Ellison (2005).

The hazard score is calculated looking at several characteristics of the tree and the surrounding area. These characteristics are:

- Failure Size
- Failure Potential
- Target Value
- Target Occupancy
- Damage Probability

(See Appendices for full details of characteristics)

5.6.1. Subject Tree Scores

Tree #	Botanical Name	Failure Size	Failure Potential	Target Value	Target Occupancy	Damage Probability	Score	Hazard Rating
1	<i>Eucalyptus camaldulensis</i>	3.0	3.0	3.0	4.0	0.8	53	High
2	<i>Eucalyptus camaldulensis</i>	2.0	2.0	2.0	3.0	0.6	19	Low

Table 4: Subject Tree Scores

With each of the 5 components assessed, the hazard score is calculated, as follows:

$((\text{Failure Size} + \text{Failure Potential}) \times (\text{Target Value} + \text{Target Occupancy})) \times \text{Damage Probability}$

To improve understanding and interpretation of data, the resulting figure is then converted to a result out of 100, rather than out of 64. The final formula then reads as follows:

Hazard Score= $((\text{FS} + \text{FP}) \times (\text{TV} + \text{TO}) \times \text{DP}) / 64) \times 100$

The final hazard rating is obtained from the resulting hazard score, as shown in Table 1: Hazard Rating Calculation.

Calculations of Hazard Ratings for all subject trees are presented in the appendix of this report

6. Conclusions

- Two trees were assessed at the Deniliquin Street and Jerilderie Street North, Tocomwal site.
- The client requested the report in regards to observations recently received from a Berrigan Shire maintenance worker, who raised concerns with the subject tree's declining tree health and what appears to be fungal growth on the stem of the tree.
- Tree #1 was assessed as 'Remove'. Tree #2 was assessed as 'Retain'.
- Both trees were assessed as being 'Moderate' in health and 'Moderate' in structure.
- Tree #1 exhibits 2 x Fungal Fruiting Bodies, is showing signs of stress and is potentially in decline. This is an indication that decay is present within tree.
- The subject trees are in close proximity to a bitumen road, nature strip and adjacent dwelling. If failure was to occur, target impact is probable.
- The subject trees are very old/large, of valuable significance and a high landscape contribution. Any works to be carried out must be justified.

7. Recommendations

- Remove tree #1 within the next 3 months.
- Prune tree #2, removing all deadwood, previously failed branches and any defective branches. All pruning must conform to Australian Standard 4373 – 2007, and be undertaken by a qualified arborist with a minimum qualification of cert 3 in Arboriculture.
- When pruning tree #2, NO live foliage/branches shall be removed (unless defective).
- Carry out bi-annual assessment of tree #2, with focus on whether tree health/condition has further deteriorated. This shall be carried out by a qualified arborist with a minimum qualification Dip. Arboriculture.

8. References

- Mathney, N.P., Clark, J.R. (1994), A Photographic Guide To The Evaluation Of Hazard Trees In Urban Areas (2nd ed.), USA: International Society of Arboriculture
- Harris, W.R., Clark, J.R., & Mathney, N.P. (2004), *Arboriculture: Integrated Management Of Landscape Trees, Shrubs, And Vines* (4th ed.), New Jersey: Pearson Education
- Australian Standard for the pruning of amenity trees AS – 4373-2007

9. Disclaimer

- All information in this report is based on assessments and issues present at the time of inspection.
- The tree(s) assessed in this report are living entities, therefore they are subject to natural processes.
- The assessed trees may also be affected by environment changes caused by human's activities and/or exceptional weather conditions.
- Information in this report relies on visual ground based assessments of tree health and structure.
- Hidden defects that are not visible from the ground may not be detected.
- Recommendations in this report are based on what can be reasonably identified, therefore the author holds no liability for recommendations provided.
- The author holds no liability for any action/works undertaken by third parties in regards to recommended arboriculture works.

10. Appendices

10.1. Appendix 1 - Assessment Table Definitions

1.1 Tree #: the number of the tree, and corresponds to the tree numbers on the site plan.

1.2 Botanical name: Genus and Species name for each tree

1.3 Height and Spread: Height (estimated) is from ground level to the top of the canopy. Spread (measured) is the average of the N-S and E-W axes of the canopy.

1.4 DBH: (Diameter at Breast Height) is the trees trunk diameter measured at 1.4m above ground level. (AS 4970-2009)

1.5 Status: Defines tree origin.

Status	Definitions
Native	Any tree that occurs naturally in a particular region or area. Trees presence in the region is due to natural processes.
Exotic	Tree originated from a foreign country or region that has been introduced to another. Does not occur in the area naturally.
Weed	Wild tree/plant of low value growing in an undesirable position, often in competition with more desirable trees/plants.

1.6 Health: Summarizes observations of tree health made in the field

Term	Definitions
Good	No significant pest or disease problems, expected growth rates, dense canopy, no significant deadwood and good leaf colour.
Moderate	Minor pest or disease problems, average growth rates, canopy perhaps sparse in places, some deadwood or some leaf discoloration.
Poor	Serious pest or disease problems, poor growth rates, sparse canopy, major deadwood or major leaf discoloration.
Dead	The tree is dead.

1.7 Structure: Summarizes observations of tree structure made in the field

Term	Definitions
Good	The tree displays a well balanced canopy. No visible defects within the trunk or its branches, branch unions well - attached. A healthy example of the subject species.
Moderate	The tree displays minor canopy issues, possibly un - balanced or small parts missing. Minor defects may be visible in branch unions. Trunk may be leaning or contain minor defects.
Poor	The tree displays a canopy that may be un - balanced or missing significant amounts. Rubbing, crossing and faulty branch attachments may be evident. Deadwood may be present within canopy. Trunk may show significant defects or damage. Root system may be damaged.
Failed	The tree displays a very poorly structured canopy. Tree has previously experienced significant failure or future failure is expected.

1.8 Maturity: Summarizes the age class of the tree.

Term	Definitions
I - Immature	Young tree with mostly dynamic mass.
S - Semi-mature	Actively growing tree that has not yet reached 70% of its mature size.
M - Mature	Tree has reached 70% of its full size and growth has slowed.
O - Over-mature	Tree has reached full size, is shedding large sections, health is declining and is vulnerable to pests and diseases.

1.9 ULE (Useful Life Expectancy): Indicates the anticipated remaining lifespan of the tree.

Term (years)	Definitions
> 40	Structurally sound tree that's future growth can be retained within the landscape for 40+ years without excessive risk.
15 - 40	Tree is expected to be suitable to retain within the landscape for 15 to 40 years without excessive risk. Could be associated with subject trees life span or need for removal within that time, regardless of health.
5 -15	Tree is expected to be suitable to retain within the landscape for 5 to 15 years without excessive risk. Could be associated with subject trees life span or need for removal within that time, regardless of health.
< 5	Tree should be removed within the next 5 years. Tree could be dead, dying, dangerous or in decline.

1.10 Retention Rating: Rates the trees sustainability within the landscape and its significance.

Term	Definitions
Retain	The tree is valuable within its current and future landscape. Tree is usually moderate to good in health and structure. Other situations where a tree may need to be retained are cultural/historic reasons, it could be indigenous, old, remnant or heritage listed. The tree may be a crucial part to the surrounding landscape.
Retain If Possible	The tree may be valuable within its landscape and an attempt should be made to retain the tree, however these trees are considered less critical. If the tree is to be removed, replacement planting should be considered to compensate for loss in the landscape. This category may also include immature or semi - mature trees suitable for transplanting.
Not Worth Retain	The tree is potentially poor in health and structure and provides minimal value to the landscape. The tree has no important values that indicate it should be retained.
Remove	The tree is potentially hazardous or a very poor example of the species. Removal recommended regardless of any proposed construction.

1.11 Tree Significance Rating: Uses a list of categories to rate trees on their individual significance.

Term	Definitions
Outstanding	Tree displays one or more of the features in the list below. Usually good in health and structure.
Valuable	Tree displays one, or some degree of, one of the features in the list below. Usually moderate - good in health and structure.
Moderate	Tree displays only a small degree of one of the listed features. Usually poor - moderate in health and structure.
Low	None of the listed features are displayed within the tree. Often a small or young tree, poor in health and structure.

- Horticultural value
- Location or context
- Rare or localised
- Particularly old
- Outstanding size
- Aesthetic value
- Curious/Abnormal growth form
- Historical value
- Aboriginal cultural value
- Outstanding example of species
- Habitat tree

1.12 Landscape Contribution Rating: Rates the contribution the tree provides within the landscape.

Term	Definitions
High	Tree is an asset within the landscape. Tree may offer important functions like wind control, screening, shade, erosion control, aesthetic value or provide habitat.
Moderate	Tree may offer a particular function within the landscape. May be just something simple like screening or shade.
Low	Tree offers very little to the landscape.

1.13 TPZ: The tree protection zone (TPZ) is the method used for protecting trees on development sites. “The TPZ is a combination of the root area and the crown area requiring protection. It is an area isolated from construction disturbance, so that the tree remains viable.” (AS 4970-2009) The TPZ radius is calculated by multiplying the subject trees DBH x 12. The TPZ consists of a physical barrier around the edge of the TPZ and is to be erected before works commence.

10.2. Appendix 2 – Glossary Of Terms

Arboriculture: Refers to the management of woody plants, such as trees, shrubs and vines. This usually involves the selection, planting and care of trees.

Branch Attachment: The structural union of a lateral to the trunk or another branch.

Canopy: The part of the crown consisting of leaves and small twigs.

Crown: Part of tree consisting of leaves and branches, measured from the lowest branch to the top of the tree.

Decline: Progressive decrease in tree health, usually caused by a number of interacting factors.

EWP: Elevated Work Platform.

Hazardous: A structurally poor tree that would injure or damage a target if it was to fail.

Root: The part of a plant consisting of woody and non – woody tissues that absorb water, nutrients and gases from the soil and atmosphere, as well as support the crown.

Stem: The main trunk of a tree or other plant.

Stress: Unfavorable deviation from normal, the deviation of tree health caused by a contributing factor.

Target: People or property with the potential for damage/injury as a result of tree failure.

Vigor: Overall health, the trees capacity to grow and resist physiological stress.

Wound: Any injury that induces a compartmentalization response.

10.3. Appendix 3 – Hazard Rating Characteristics

THIS HAZARD RATING METHOD HAS NOT BEEN FORMALLY RELEASED OR TRIED IN A COURT OF LAW. IT IS NOT SUPPORTED, BUT IS MERELY A POINT OF DISCUSSION. TO USE THIS SYSTEM, IT MUST BE WELL DOCUMENTED AND WELL JUSTIFIED.

Failure Size: The failure size rating is based on the most substantial part of the tree considered by the assessor to be ‘most likely to fail’. The size of that part is estimated and categorised as follows:

Failure Size (cm)	Failure Size Rating	Description
75 plus	4	The tree part considered most likely to fail has a maximum diameter of greater than 75 cm.
45 - 75	3	The tree part considered most likely to fail has a maximum diameter of between 45 and 75 cm.
15 - 45	2	The tree part considered most likely to fail has a maximum diameter of between 15 and 45 cm.
0 - 15	1	The tree part considered most likely to fail has a maximum diameter of between 0 and 15 cm.
Negligible	0.5	No branches of any size appear likely to fail in the short term.

Failure Potential: The failure potential rating is based on the most substantial part of the tree considered by the assessor to be ‘most likely to fail’. The probability for that part to fail within the next 3 years is then estimated by the assessor, as follows:

Failure Potential	Failure Potential Rating	Description
Very High	4	Significant structural fault/s exist within the tree. Failure within 3 years is imminent.
High	3	Significant structural fault/s exist within the tree. Failure within 3 years is probable.
Moderate	2	Minor structural fault/s exist within the tree. Failure within 3 years is possible.
Low	1	Minor structural fault/s exist within the tree. There is little potential for failure within 3 years.
Very Low	0.5	No obvious structural faults exist within the tree. There is an extremely low potential for failure within 3 years.

Target Value: A target is considered to be any people and/or property that may be struck in the event of failure of the entire tree, or part thereof. The target value is based on an estimate made by the assessor of the value of the most significant target, and is categorised as follows:

Table 4: Target Value		
Target Value	Target Value Rating	Description
Very High	4	Very high value targets, usually greater than \$1 million in value. Eg. People.
High	3	High value targets, usually of \$100,000 to \$1 million in value. Eg. Houses, HV powerlines.
Moderate	2	Moderate value targets, usually of \$10,000 to \$100,000 in value. Eg. Cars, caravans, LV powerlines.
Low	1	Low value targets, usually of less than \$10,000 in value. Eg. Fence, garden shed, garden seat, birdbath.
Very Low	0.5	No obvious targets. Eg. Open space, paddock.

Target Occupancy: The target occupancy is an estimate of the average length of time the target is considered likely to be within an area where it may be struck by part of the tree in the event of failure of all or part of the tree. It is based on observations made by the assessor, and is categorised as follows:

Table 5: Target Occupancy		
Target Occupancy	Target Occupancy Rating	Description
Constant	4	The target is within the 'target zone' for greater than 8 hours per day. Eg. House, permanent caravan, fence, permanent structure.
Frequent	3	The target is within the 'target zone' for 3 - 8 hours per day. Eg. Children at playground, busy roads.
Intermittent	2	The target is within the 'target zone' for 1 - 3 hours per day. Eg. Walking tracks.
Occasional	1	The target is within the 'target zone' less than 1 hour per day. Eg. Walking tracks, garden beds, low-use roads.
Negligible	0.5	The target is rarely within the 'target zone'. Eg. Rarely used area, garden beds.

Damage Probability: The damage probability is an assessment of the likelihood of the failed part both striking and subsequently damaging a target. It is based on observations made by the assessor, and is categorised as follows:

Table 6: Damage Probability		
Damage Probability	Damage Probability Rating	Description
Very High	1	Damage in the event of tree failure is imminent.
High	0.8	Damage in the event of tree failure is probable.
Moderate	0.6	Damage in the event of tree failure is possible.
Low	0.4	Damage in the event of tree failure is improbable.
Very Low	0.2	Damage in the event of tree failure is extremely unlikely.

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hoofs2010@live.com.au



To whom it may concern

HOOFS2010 INC. Brumby Rescue is a small not for profit charity based in Berrigan NSW at the forefront of advocacy, rescue, training and the rehoming of Australia's wild horses.

HOOFS2010 hold a Peppercorn lease over 14205 Riveieina Highway Berrigan where the Brumby Sanctuary is located.

HOOFS2010 Incorporated brings many visitors from all over Australia and International visitors to our beautiful little town, we promote local business for accommodation, meals, shopping, gift etc with our visitors ensuring extra money comes into our close community.

As Berrigan community is aware Lynette Sutton (founder of Hoofs) has recently suffered a brain injury and during her recovery we endeavour to keep the wheels turning, so to speak.

I am writing to you today to request assistance by way of grading our laneway. With winter coming and the expected damp and rain, it would be greatly appreciated if Berrigan Shire Council could provide a driver and grader to assist us.

A tax deductible receipt is able to be issued in leu of this generous support, should you accept to provide it to us.

Kindest regards
AJ Tanner
Volunteer/Member
HOOFS2010 INC. Brumby Rescue



www.hoofs2010incorporated.com

Working to Save and Promote the Australian Heritage Horse



HOOFS2010 INCORPORATED

ABN 45577233292

CFN/21823

Saving Australian Heritage Horses for Future Generations

PO Box 86
Berrigan
NSW 2712
Ph 03 5885 1009
Mob 0401527991

14/05/2021

Berrigan Shire Council
56 Chanter Street
Berrigan, NSW 2712

Dear Berrigan Council,

HOOFS2010 INC. Brumby Rescue is a small not for profit, registered Australian Charity based in Berrigan, Hoofs is at the forefront of advocacy, rescue, raining and rehoming of Australia's wild horses.

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AJ Tanner

Volunteer/Member

HOOFS2010 INC. Brumby Rescue

BERRIGAN SHIRE COUNCIL	17 MAY 2021				
	FILE	REFER TO	COPY TO	ACTION / CODE	ACKNOWLEDGE Y/N



Berrigan Shire Council

Statement – Accounting treatment of Rural Fire Service assets

23 November 2020

The Council has made the decision not to bring to account the NSW Rural Fire Service (RFS) assets nominally vested in the Council under s119 of the *Rural Fires Act* 1997.

This accounting treatment of RFS assets is **explicitly permitted** by the NSW Local Government Code of Accounting Practice and Financial Reporting issued by the Office of Local Government.

Councils have the option to continue to recognise or not to recognise Rural Fire Services assets in their accounts until such time as the control issue is agreed upon with the Rural Fire Service.

In making this decision, the Council has considered the definition of an asset in Australian Accounting Standards Board (AASB) *Statement of Accounting Concepts 4: Definition and Recognition of the Elements of Financial Statements* – in particular the definition of control.

24 *The second essential characteristic of an asset is control, which relates to the capacity of the entity to benefit from the asset in the pursuit of its objectives and to deny or regulate the access of others to that benefit. The entity controlling an asset is the one that can, depending on the nature of the asset, exchange it, use it to provide goods or services, exact a price for others' use of it, use it to settle liabilities, hold it, or perhaps distribute it to owners.*

37 *Control over future economic benefits has been identified as an essential asset characteristic. While the ability of an entity to exercise control will often stem from the existence of legally enforceable rights, the absence of legal ownership does not preclude the existence of control. For example, an entity may protect the future economic benefits embodied in a formula or an invention not by obtaining a patent but by maintaining secrecy. Similarly, the presence of legal rights does not guarantee control. For example, goods may be sold subject to reservation of title, whereby a stipulation is placed in a sale of goods agreement to the effect that ownership of the goods does not pass to the buyer until the time of payment. The substance of these arrangements is that the buyer effectively has control over the future economic benefits embodied in the delivered goods unless there is an incapacity to pay. The seller, while possessing legal title and therefore the right to resume possession in the event of the buyer's default, does not control the future economic benefits embodied in the goods. Another example is where a government entity, such as a government department, does not have legal ownership of the buildings in which it operates, such ownership vesting in another government entity, but controls the future economic benefits embodied in the buildings because of the terms of a particular government policy, ministerial directive or administrative arrangement*

Section 119 of the Rural Fires Act nominally vests the assets with the Council. In reality, the (compulsory) Service Level Agreement with the RFS leaves the Council with no control over the purchase, disposal, operation, maintenance, distribution or condition of RFS equipment.

Note s119 of the *Rural Fires Act* also requires the RFS to seek concurrence of the Council if any of the equipment vested in it is to be used outside the Council area. This concurrence is now not sought or given from this Council by the RFS – not has it been reasonably expected. The assets are under the control of the RFS.

Further, the Council does not have sufficient information to hand to allow it to reliably measure the RFS assets nominally vested in the Council. Without knowledge of the quantity, nature and condition of the asset it is impossible to reliably measure the asset

In the preparation of these statements, the Council made the following request of the RFS

As the Council does not have control over the purchase, disposal, transfer or use of these assets, the Council is unaware of exactly what assets are vested in the Council . To this end, the Council is seeking the advice of the RFS as to:

1. *A list of RFS equipment vested in Berrigan Shire Council*
2. *For each item on the list*
 - a. *the purchase date (year, at a minimum)*
 - b. *Value at current replacement cost (i.e. what would a replacement cost? If you would buy a second-hand replacement, the cost of an appropriate second hand replacement, otherwise replacement with a new asset). Technically, I would need documentation to support this valuation too.*
 - c. *The useful life of the asset – i.e. how many years would it be expected to in service from purchase to disposal*
 - d. *Are there any issues with the condition or standard of the asset – especially those that would affect resale value or stop the asset performing its role*

This information was **not** provided to the Council. The response from the RFS was as follows:

The NSW Rural Fire Service will be providing as much information as it holds to the Audit Office of NSW in a process to be coordinated by the Audit Office.

Council is the owner of all NSW Rural Fire Service red fleet vehicles due to the vesting provisions of the Rural Fires Act 1997

Finally, the Council does not believe the value of the RFS assets nominally vested in the Council, or the depreciation charged on those assets, would be material given the Council's overall asset base.



Premier & Cabinet

Ref: A4607481

Mr Matthew Hansen
General Manager
Berrigan Shire Council
56 Chanter Street
Berrigan NSW 2712

Dear Mr Hansen

I would like to take this opportunity to encourage you to nominate employees from your Council for the Public Service Medal (PSM), to be considered for the Australia Day 2022 awards announcement.

The closing date for nominations is Monday 2 August 2021.

The PSM is part of the prestigious Australian Honours and Awards system and recognises outstanding service by public sector employees. Outstanding service could be displayed by:

- service above and beyond the normal requirements of the position,
- a special achievement or success in the performance of duty, or
- sustained performance by an individual with a focus on outcomes and recognisable benefits to clients and the workplace.

The award is not confined to senior officers. It is available to any public sector employee regardless of grade or age. A list of PSM recipients from the previous three rounds is attached.

The selection committee and I look forward to reviewing many high quality nominations. I have no doubt there are many significant achievements to be recognised across the State, from those who have worked tirelessly in response to the community's ongoing recovery efforts from recent natural disasters, to those innovatively responding to the COVID-19 pandemic, and those who have delivered projects of significance that will have an ongoing legacy within your local community. Further, in recent years we have seen an increase in nominations for women for the PSM, this is a trend I would like to see continue.

A suite of resources are available to assist your Council in seeking nominations, including promotional posters. Please contact the Premier's Protocol Unit on (02) 9228 5188 or email awards@dpc.nsw.gov.au to request a resource pack. The nomination form and further information is available at www.dpc.nsw.gov.au/publicservicemedal.

Yours sincerely

Tim Reardon
Secretary

21 May 2021



Public Service Medal (PSM) Frequently Asked Questions

The Nomination Form and Guidelines are available online.

The PSM is part of the official Australian system of honours and awards, and was established to recognise employees at local, state and federal levels of government who have given outstanding service. The PSM is awarded by the Governor-General of the Commonwealth of Australia with nominations requested twice a year for announcement on Australia Day and the Queen's Birthday.

www.dpc.nsw.gov.au/publicservicemedal



How do I nominate in NSW?

Nominations for employees of NSW state and local governments should be made to the NSW PSM Committee which is facilitated by the NSW Department of Premier and Cabinet. For more information, visit www.dpc.nsw.gov.au/publicservicemedal

When do nominations close?

Nominations for the PSM are accepted year round with closing dates as follows:

- » 1 August for the Australia Day Honours List (26 January)
- » 1 February for the Queen's Birthday Honours List (June)

Please contact the nominee's agency to find out more about that agency's own deadlines for seeking endorsement of the nomination by the relevant Departmental Secretary or Chief Executive Officer.

Nominations must be received by the NSW Department of Premier and Cabinet by the close of business on the closing date to be considered for the upcoming announcement. If the closing date falls on a weekend, then nominations will be accepted until close of business on the Monday immediately following.

Do I have to get references in writing?

Yes, to be eligible for consideration by the NSW PSM Committee, nominations must be accompanied by at least three referee statements which comment on the services of the nominee. Statements should be on official letterhead (where appropriate) and signed by the referee. The NSW PSM Committee does not contact the referees to obtain statements on the nominator's behalf.

How do I request endorsement of the nomination by the Departmental Secretary or Chief Executive Officer?

Please contact the nominee's agency to find out more about the deadlines for seeking endorsement of nominations by the relevant Departmental Secretary or Chief Executive Officer.

How will I know if the nomination is successful?

Nominators can find out the outcome of a nomination only when the Australian Honours are announced on either Australia Day (26 January) or the Queen's Birthday (June) each year. Prior to the announcement, the Honours Secretariat speaks with the nominee to make sure they accept the Award. The nominee is then asked not to discuss it until they are actually made a recipient upon announcement on Australia Day or the Queen's Birthday.

Are there any tips for writing the nomination statement and referee statements?

Explain how the nominee went 'above and beyond' what would normally be expected of someone in the role; write about what they have done, not just the offices they have held and for how long; describe how their contribution has impacted on a particular field or community.

Public Service Medal (PSM) Guidelines for preparing nominations

The Nomination Form and FAQs are available online.

The PSM is part of the official Australian system of honours and awards, and was established to recognise employees at local, state and federal levels of government who have given outstanding service. The PSM is awarded by the Governor-General of the Commonwealth of Australia with nominations requested twice a year for announcement on Australia Day and the Queen's Birthday.

www.dpc.nsw.gov.au/publicservicemedal



The award

Recipients of the PSM are entitled to use the letters 'PSM' after their names to show that their outstanding service has been formally recognised.

Only 100 awards of the PSM can be made in any calendar year. Of these, 30 can be awarded to Commonwealth officers and the remainder are distributed to the State and Territories as follows: NSW (22), VIC (17), QLD (11), WA (6), SA (6), TAS (3), ACT (3) and NT (2).

What is the PSM awarded for?

The sole criterion for the award of the PSM is outstanding public service. "Outstanding service" includes service above and beyond the normal requirements of the position, a special achievement or success in the performance of duty in difficult or unusual circumstances, or sustained performance by an individual with a focus on outcomes and recognisable benefits to clients and the workplace. Long service should not be used as a basis for making nominations.

Who is eligible?

All employees of the Australian Government and state, territory and local governments are eligible for the medal, except for members of the Defence Force and other uniformed services (police, fire, ambulance and emergency services) who are eligible for comparable awards. The medal is not reserved for senior officers - it is open to all levels of the public service. Past awards have been made across a broad range of government services and locations.

The PSM may be awarded only once to each recipient. A person who has received a PSM and gives further distinguished service may be nominated subsequently for an award in the Order of Australia. Similarly, a person who has received an award in the Order of Australia is not excluded from receiving a PSM, although at least five years should elapse between the announcement of awards, in accordance with established honours convention.

Citizenship

A person does not have to be an Australian citizen to be awarded the PSM. However, if the nominated person is not an Australian Citizen, the Australian Government, in accordance with honours convention, must seek the agreement of the government of the country of citizenship before the award can be made. If the nominee is not an Australian citizen, the nomination should clearly indicate this, and if the nomination is recommended to the Governor-General, the Governor General's office will arrange for the Commonwealth Government to seek the appropriate agreement.

Retired Officers

Awards of the PSM can be made to former public servants.

Posthumous awards

The PSM is not awarded posthumously.

How to prepare and submit nominations?

Nominations for the PSM for employees of NSW state and local governments should be made to the NSW PSM Committee (the Committee).

To be eligible for consideration by the Committee, nominations for employees of NSW state and local governments should include

- » a nomination statement detailing comprehensive information on the services or achievement for which the nomination is being made (2-3 pages)
- » at least three signed referee statements which comment on the nominee's service
- » proof of endorsement by the relevant Departmental Secretary or Chief Executive Officer

Confidentiality

All information provided within a nomination is treated as confidential and if the nomination is successful the nominee will have the opportunity to advise whether they wish their address details to be published.

Nomination statement (2-3 pages)

The nomination statement should give a clear idea of what the nominee has done to fulfil the criteria of outstanding service. Outstanding service could be shown through:

- » service excellence to the public, or to external or internal clients;
- » innovation in program, project or policy development;
- » leadership, from below or as a member of a team;
- » the achievement of more efficient processes, cost savings, improved products or better service delivery.

In addition to giving comprehensive information about the positions held and the length of service, the nomination statement should put the nominee's contribution into context so that the Committee can assess the nomination relative to the duties which would normally be expected of a person at a particular level. It should not be assumed that the Committee has a detailed knowledge of the area in which the nominee has worked, or a full understanding of the significance of certain achievements.

Referee statements (at least three)

To be properly considered by the NSW PSM Committee, all nominations must be accompanied by at least three signed referee statements which comment on the services of the nominee. If the nominee's services relate to the work of another agency or to a particular community or industry, a referee statement from another agency or from outside the public sector may also help the Committee in their consideration of the nomination. There is no limit on the number of referee statements that can be provided. The referee statements should detail specific examples of outstanding service by the nominee as outlined in the PSM Nomination Guidelines, be on official letterhead, be signed by the referee, and be no more than two pages long.

Endorsement by the relevant Departmental Secretary or Chief Executive Officer

To be eligible for consideration by the NSW PSM Committee, nominations must be accompanied by written proof of endorsement by the relevant Departmental Secretary or Chief Executive Officer. Please contact the nominee's agency to find out more about the deadlines for seeking endorsement of the nomination.

How are nominations considered?

The NSW PSM Committee meets twice a year to consider eligible nominations for the Australia Day and Queen's Birthday honours lists. After considering the nominations, the Committee recommends a list of proposed recipients to their Premier or responsible Minister, who then makes a recommendation to the Governor. The Governor forwards the recommendations to the Governor-General who has the authority to approve the awards.

Responsibility for contacting the proposed recipients rests with the Honours Secretariat of Government House, which arranges for the announcement of the awards to appear in the Commonwealth of Australia Gazette. Proposed recipients may decline an award when approached by the Honours Secretariat if they wish. Some time after gazettal the recipient will be notified by Government House of the arrangements for them to receive their medal at an official investiture.